

ADDENDUM #1

SANFORD HALL ABATEMENT

THE UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE
CHARLOTTE, NORTH CAROLINA

Prepared by

MOSELEY ARCHITECTS
11430 NORTH COMMUNITY HOUSE ROAD
GIBSON BUILDING, SUITE 225
CHARLOTTE, NORTH CAROLINA 28277

DATE OF ISSUE – December 7, 2015

GENERAL:

Planholders are requested to attach this Addendum to the inside front cover of each Project Manual. Inform all concerned that the Bidding Documents are modified by this Addendum.

The following modifications and clarifications are hereby made a part of the Bidding Documents and supersede or otherwise modify the provisions of the published *Project Manual* and *Drawings*, dated November 6, 2015

Refer to the Drawings and Specification Sections, if any, attached to this Addendum, which are hereby made a part of this Addendum.

A Pre-Bid Conference was held on December 1, 2015. A copy of the sign-in log has been posted to www.moseleyprojects.com/OTS for information only, and is not considered a part of the Bidding Documents.

MODIFICATIONS TO THE PROJECT MANUAL:

NOTICE TO BIDDERS

DELETE previously issued “Notice to Bidders” form in its entirety and SUBSTITUTE revised Notice to Bidders form, noted as Addendum 1.

INSTRUCTIONS TO BIDDER

Paragraph 1.17: ADD “A. The building value of Sanford Hall is \$21,629,604.”

SECTION 01714 –WORK CLEARANCE AREA

DELETE original “Work Clearance Area” in its entirety and SUBSTITUTE revised “Work Clearance Area”.

SECTION 098000 –SPRAY TEXTURE CEILING

DELETE original “Spray Texture Ceiling” specification in its entirety and SUBSTITUTE revised “Spray Texture Ceiling” specification.

MODIFICATIONS TO THE DRAWINGS:

DRAWING A1.0.1

General Notes: Note 8: DELETE “Contractor shall coordinate schedule for furniture reinstall with owner performed work that shall follow abatement activities on each floor.”

ADD General Note 10: “Ceiling mounted light fixtures shall be removed for ceiling abatement and reinstalled prior to project completion”.

ADD General Note 11: “Wood trim at top of walls and surface mounted conduit shall remain at completion of the project”.

DRAWING A1.0.2

ADDENDUM NO. 1

38 General Notes: Note 8: DELETE “Contractor shall coordinate schedule for furniture reinstall with
39 owner performed work that shall follow abatement activities on each floor.”
40

41 ADD General Note 10: “Ceiling mounted light fixtures shall be removed for ceiling abatement
42 and reinstalled prior to project completion”.
43

44 ADD General Note 11: “Wood trim at top of walls and surface mounted conduit shall remain at
45 completion of the project”.

46 DRAWING A1.0.3

47 General Notes: Note 8: DELETE “Contractor shall coordinate schedule for furniture reinstall with
48 owner performed work that shall follow abatement activities on each floor.”
49

50 ADD General Note 10: “Ceiling mounted light fixtures shall be removed for ceiling abatement
51 and reinstalled prior to project completion”.
52

53 ADD General Note 11: “Wood trim at top of walls and surface mounted conduit shall remain at
54 completion of the project”.

55 DRAWING A1.0.4

56 General Notes: Note 8: DELETE “Contractor shall coordinate schedule for furniture reinstall with
57 owner performed work that shall follow abatement activities on each floor.”
58

59 ADD General Note 10: “Ceiling mounted light fixtures shall be removed for ceiling abatement
60 and reinstalled prior to project completion”.
61

62 ADD General Note 11: “Wood trim at top of walls and surface mounted conduit shall remain at
63 completion of the project”.

64

65 **REFER TO DRAWINGS ATTACHED TO THE END OF THIS ADDENDUM**

66 A1.0.1 – ABATEMENT FLOOR PLANS

67 A1.0.2 – ABATEMENT FLOOR PLANS

68 A1.0.3 – ABATEMENT RCP AND FINISH SCHEDULE

69 A1.0.4 – ABATEMENT RCP AND FINISH SCHEDULE

70 **REFER TO SPECIFICATIONS ATTACHED TO THE END OF THIS ADDENDUM**

71 SECTION 01714 –WORK CLEARANCE AREA

72 SECTION 098000 –SPRAY TEXTURE CEILING

73

74 **REFER TO DOCUMENTS ATTACHED TO THE END OF THIS ADDENDUM**

75 NOTICE TO BIDDERS

76

77 **END OF ADDENDUM NO 1**

NOTICE TO BIDDERS

Sealed proposals will be received by The University of North Carolina at Charlotte in Charlotte NC, in the office of Joyce Clay, UNC Charlotte, Facilities Management – Capital Projects, 9201 University City Blvd, Charlotte, NC 28233 up to 1:00 pm on December 16th, 2015. Proposals will be publicly opened that day at 2:00 pm and read for the furnishing of labor, material and equipment entering into the abatement of Sanford Hall Abatement.

Please note that any bids delivered to the UNC Charlotte Facilities Management, Capital Projects must be received by 1:00 pm on bid day. Any bids submitted between 1:00pm and 2:00 pm are to be delivered to the Cone Center Room 208.

Abatement of the ground floor and floors two through eleven of AMC floorings and textured ceiling finishes. Bids will be received for Contract type –Single Prime. All proposals shall be lump sum.

Pre-Bid Meeting

A **mandatory** pre-bid meeting will be held for all interested bidders on December 1, 2015 at 11:00 AM in the UNC Charlotte, Cone Center room 208) The meeting will address project specific questions, issues, bidding procedures and bid forms.

Pre-Bid Building Tour

A non-mandatory building tour will be held for all interested bidders on December 8, 2015 at 3:00 PM. The tour will begin at the rear of Sanford Hall at the ground level service entrance. Visitor parking is available in the Cone and South Village parking decks. The site may be accessed via Sanford Lane.

Complete plans, specifications and contract documents will be open for inspection at:

1. Moseley Architects – 11430 North Community House Road, Charlotte NC 28277
2. Owner – UNC Charlotte, Facilities Management/Police Building, 2nd floor – Capital Projects, 9151 Cameron Blvd, Charlotte, NC 28223, Phone: 704-687-0615
3. Metrolina Minority Contractors Association (MMCA), 2848 Queen City Drive, Suite B, Charlotte, NC 28208, Phone: 877-526-6205, mmca@mmcaofcharlotte.org.

Digital copies of the plans, specifications and contract documents are available at the following;

1. Associated General Contractors (AGC) Carolinas Branch and the Hispanic Contractors Association of the Carolinas (HCAC) – 800-364-2059; www.isgft.com
2. Dodge Data & Analytics – <http://construction.com>
877-784-9556 or 800-393-6343
3. Construction Market Data – john.kasper@cmdgroup.com or vicki.van@cmdgroup.com
770-209-3429

Also, visit www.moseleyarchitects.com, “Bidding” (UNCC Sanford Hall Abatement) click on “Bid Documents”, and follow the instructions located at the top of the page to “Request a key”. Once complete, access to the electronic Bidding Document files can be obtained, saved, and or examined as needed. Addenda for the project will be posted to the above listed website.

If a contractor is bidding under the dual system both as a single prime contractor and as a separate prime contractor, he must submit the bids on separate forms and in separate envelopes. Bidders should clearly indicate on the outside of the bid envelope which contract(s) they are bidding.

NOTE: The bidder shall include with the bid proposal the form *Identification of Minority Business Participation* identifying the minority business participation it will use on the project and shall include either *Affidavit A* or *Affidavit B* as applicable. Forms and instructions are included within the Proposal Form in the bid documents. Failure to complete these forms is grounds for rejection of the bid. (GS143-128.2c Effective 1/1/2002.)

All contractors are hereby notified that they must have proper license as required under the state laws governing their respective trades.

General contractors are notified that Chapter 87, Article 1, General Statutes of North Carolina, will be observed in receiving and awarding general contracts. General contractors submitting bids on this project must have license classification for: General Contractor

NOTE--SINGLE PRIME CONTRACTS: Under GS 87-1, a contractor that superintends or manages construction of any building, highway, public utility, grading, structure or improvement shall be deemed a "general contractor" and shall be so licensed. Therefore a single prime project that involves other trades will require the single prime contractor to hold a proper General Contractors license. **EXCEPT:** On public buildings being bid single prime, where the total value of the general construction does not exceed 25% of the total construction value, contractors under GS87- Arts 2 and 4 (Plumbing, Mechanical & Electrical) may bid and contract directly with the Owner as the SINGLE PRIME CONTRACTOR and may subcontract to other properly licensed trades. [GS87-1.1- Rules .0210](#)

Each proposal shall be accompanied by a cash deposit or a certified check drawn on some bank or trust company, insured by the Federal Deposit Insurance Corporation, of an amount equal to not less than five percent (5%) of the proposal, or in lieu thereof a bidder may offer a bid bond of five percent (5%) of the bid executed by a surety company licensed under the laws of North Carolina to execute the contract in accordance with the bid bond. Said deposit shall be retained by the owner as liquidated damages in event of failure of the successful bidder to execute the contract within ten days after the award or to give satisfactory surety as required by law.

A performance bond and a payment bond will be required for one hundred percent (100%) of the contract price.

Payment will be made based on ninety-five percent (95%) of monthly estimates and final payment made upon completion and acceptance of work.

No bid may be withdrawn after the scheduled closing time for the receipt of bids for a period of 30 days.

The owner reserves the right to reject any or all bids and to waive informalities.

Designer:

Moseley Architects
11430 N. Community House Road
Gibson Building, Suite 225
Charlotte, NC 28777
704-540-3755

Owner:

Ms. Joyce Clay
The University of North Carolina at Charlotte

Mailing:

FM-Capital Projects
UNC Charlotte
9201 University City Blvd.
Charlotte, NC 28233

Hand Delivery

FM / Police Building (building #55a)
2nd Floor – Capital Projects
9151 Cameron Blvd
Charlotte, NC 28233FM-Capital

SECTION 01714, WORK AREA CLEARANCE

1. General

- 1.1. Notification and scheduling of the final inspection during the project is the responsibility of the contractor.

2. Final Clearance Testing

- 2.1. After the second cleaning operation and after the area is completely dry, the following procedure test shall be performed:
A final visual inspection shall be conducted by the industrial hygiene firm. The inspection shall be conducted following the guidelines set forth in the American Society for Testing and Materials, Standard Practices for Visual Inspection of Asbestos Abatement Projects, Designation: E1368.90. If the work area is found visibly clean, air samples will be collected by the industrial hygiene firm.
 - 2.1.1. During the air testing, the accredited air monitor shall cause disruptive air currents as described in the EPA-AHERA regulations (40 CFR Part 763, Subpart E, Appendix A).
 - 2.1.2. If samples are to be analyzed using PCM (minimum of five samples using NIOSH 7400 method), then the maximum flow rate is 12 liters per minute, with a minimum sample size of 2000 liters for each sample. Clearance criteria shall be less than 0.01 F/cc for all samples analyzed. This criteria applies to Area L (and Areas U & Y if Alternate #1 is not accepted) as described in Section 02080.2 unless the material becomes friable during removal.
 - 2.1.3. If samples are to be analyzed using TEM, the Mandatory Transmission Electron Microscopy Method described in 40 CFR Part 763, Subpart E, Appendix F shall be used. Clearance criteria shall be an arithmetic mean less than or equal to 70 structures per square millimeter. This section applies to Areas 2B, 2C, and U (also U, and Y if Alternate #1 is accepted) as described in Section 02080.2. It also applies to Area M as described in Section 02080.2, if it becomes friable during removal.
- 2.2. Final clearance criteria shall be in accordance with AHMB Program Rules.
- 2.3. The industrial hygiene firm shall immediately report the final air sampling clearance results to the designer.
- 2.4. The use of the negative pressure system may be discontinued after the industrial hygiene firm instructs the contractor that he has passed the final project decontamination inspection.

END OF SECTION 01714

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UNIVERSITY OF NORTH CAROLINA CHARLOTTE
Charlotte, North Carolina
Architect's Project No. 531233

SECTION 098000 – SPRAY TEXTURE CEILING

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
 - 1. Spray applied textured ceiling finish with lightweight aggregate.

1.3 ACTION SUBMITTALS

- A. Product Data: For each type of product.
- B. Shop Drawings:
 - 1. Show locations, fabrication, and installation of control joints and trim; include details of accessory components, and attachments to other work, where required
- C. Samples: For the following products:
 - 1. (4) 4"x 6" sample cards representing the acceptable range for a Medium Aggregated finish.

1.4 QUALITY ASSURANCE

- A. Mockups: Provide an in-place full-thickness finish mockup for each type of substrate to demonstrate aesthetic effects and set quality standards for materials and execution.
 - 1. Provide mockups of ceilings in size of at least 100 sq. ft. (9 sq. m).
 - 2. Apply according to requirements for the completed Work, after permanent lighting and other environmental services have been activated.
 - 3. Subject to compliance with requirements, approved mockups may become part of the completed Work if undisturbed at time of Substantial Completion.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials in original packages, containers, and bundles bearing brand name and identification of manufacturer or supplier.

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- B. Store materials inside under cover and keep them dry and protected against damage from weather, direct sunlight, surface contamination, corrosion, construction traffic, and other causes.
- C. Stack panels flat on leveled supports off floor or slab to prevent sagging.

1.6 FIELD CONDITIONS

- A. Room Temperatures: Maintain not less than 55 deg F (13 deg C) or more than 80 deg F (27 deg C) for seven days before application of gypsum veneer plaster, continuously during application, and after application until veneer plaster is dry.
- B. Avoid conditions that result in rapid drying.
 - 1. Distribute heat evenly; prevent concentrated or uneven heat on veneer plaster.
 - 2. Maintain relative humidity levels, for prevailing ambient temperature, that produce normal drying conditions.
 - 3. Ventilate building spaces in a manner that prevents drafts of air from contacting surfaces during veneer plaster application until it is dry.
- C. Do not install product on surfaces that are wet, moisture damaged, or mold damaged.

PART 2 - PRODUCTS

2.1 MANUFACTURERS

- A. Source Limitations: Obtain products from single manufacturer.

2.2 PERFORMANCE REQUIREMENTS

- A. Low-Emitting Materials: For ceiling and wall assemblies, provide materials and construction identical to those tested in assembly and complying with the testing and product requirements of the California Department of Health Services' "Standard Practice for the Testing of Volatile Organic Emissions from Various Sources Using Small-Scale Environmental Chambers."

2.3 CEILING SPRAY TEXTURE

- A. Decorative texture finish: ready-mixed finish containing lightweight aggregate over concrete substrate.
 - 1. Base Coat:
 - a. USG – QT Poly Ceiling Spray Texture
 - b. CertainTeed – Tex Spray Texture
 - c. National Gypsum – ProForm Perfect Spray HF

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2. Finish Level: Medium
3. Color: White
4. Coverage rate: 8-10 sq.ft. / lb.

2.4 AUXILIARY MATERIALS

- A. General: Provide auxiliary materials that comply with referenced product standards and manufacturer's written recommendations.
- B. Bonding Agent: Manufacturer's recommended surface primer for existing substrates
- C. Patching Mortar: Dry-pack patching mortar, consisting of 1 part portland cement to 2-1/2 parts fine aggregate passing a No. 16 (1.18-mm) sieve, using only enough water for handling and placing.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine substrates, areas, and conditions, with Installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the Work.
- B. Existing Concrete Substrates:
 1. Identify existing conditions that require embedded tape application.
 2. Fill voids with manufacturer recommend patching compound.
- C. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Monolithic Concrete Substrates:
 1. Clean surfaces to remove dust, loose particles, grease, oil, incompatible curing compounds, form-release agents, and other foreign matter and deposits that could impair bond with gypsum veneer plaster.
 2. Remove ridges and protrusions greater than 1/8 inch (3 mm) and fill depressions greater than 1/4 inch (6.4 mm) with patching mortar. Allow to set and dry.
 3. Apply bonding agent on dry and cured concrete substrates.
- B. Existing gypsum wallboard substrates:

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1. Clean surfaces to remove dust, loose particles, grease, oil, incompatible curing compounds, form-release agents, and other foreign matter and deposits that could impair bond with gypsum veneer plaster.
 2. Remove ridges and protrusions greater than 1/8 inch (3 mm) and fill depressions greater than 1/4 inch (6.4 mm) with patching compound. Allow to set and dry.
 3. Apply sealing primer and allow to dry prior to application of finish.
- C. Protect all adjacent surfaces from overspray.
- D. Bonding Agent: Apply bonding agent on dry surface according to manufacturer's written recommendations.

3.3 PROTECTION

- A. Protect installed gypsum veneer plaster from damage from weather, condensation, construction, and other causes during remainder of the construction period.
- B. Remove and replace gypsum veneer plaster and gypsum base panels that are wet, moisture damaged, or mold damaged.
1. Indications that gypsum base panels are wet or moisture damaged include, but are not limited to, discoloration, sagging, and irregular shape.
 2. Indications that gypsum base panels are mold damaged include, but are not limited to, fuzzy or splotchy surface contamination and discoloration.

END OF SECTION 098000

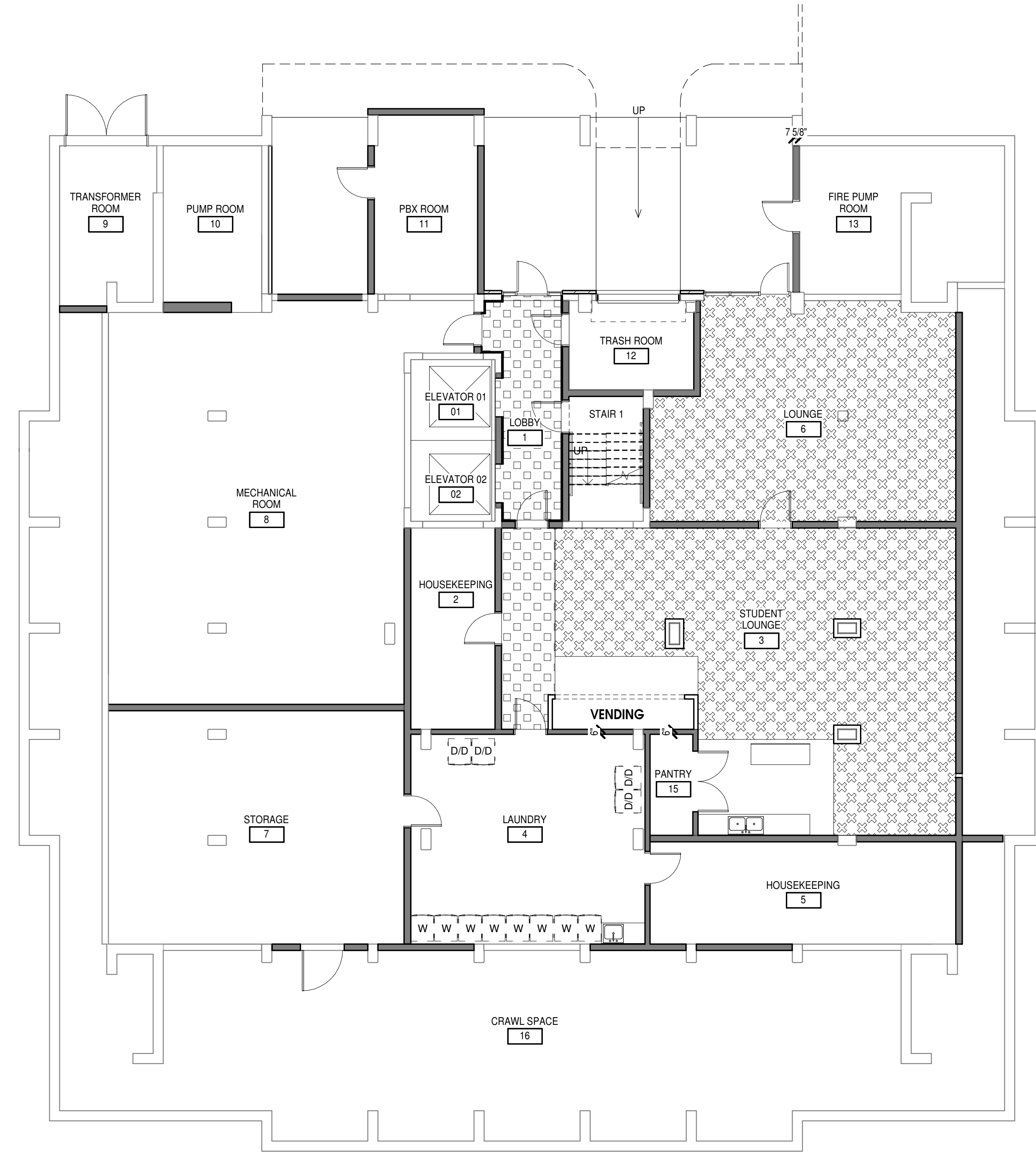


- GENERAL NOTES**
- REMOVE EXISTING CONSTRUCTION AS INDICATED. DEMOLITION SHALL BE TO THE LEAST EXTENT POSSIBLE IN ORDER TO COMPLETE THE WORK. DO NOT PERFORM DEMOLITION BEYOND THE SCOPE OF CONSTRUCTION.
 - DETAILS OF EXISTING CONDITIONS: ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY FROM THOSE INDICATED. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED TO ACHIEVE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ACCORDING TO FIELD ASSESSMENTS AND MEASUREMENTS. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED ASPECTS OF DEMOLITION OR CONSTRUCTION.
 - DAMAGE OCCURRING DURING SCOPE OF WORK IS TO BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SIMILAR CONDITIONS.
 - PATCH AND REPAIR ANY FLOOR DAMAGE CAUSED DURING DEMOLITION TO MAINTAIN EVEN SURFACE.
 - REFER TO ABATEMENT SPECIFICATION SECTION 02080 FOR ADDITIONAL INFORMATION.
 - REFER TO FINISH SCHEDULE FOR ADDITIONAL WORK.
 - ROOM NUMBERS SHOWN IN DOCUMENTS ARE FOR CONSTRUCTION COORDINATION ONLY. ACTUAL ROOM NUMBERS MAY VARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND PROTECTING EXISTING FURNITURE FROM AREAS OF ACTIVE ABATEMENT WORK. AFTER DEMOLITION AND ABATEMENT ACTIVITIES ARE COMPLETE, CONTRACTOR SHALL CLEAN ALL FURNITURE AND REINSTALL IN ORIGINAL LOCATIONS.
 - UPON COMPLETION OF ABATEMENT ACTIVITIES, CONTRACTOR SHALL ENSURE ALL ABATED SURFACES ARE CLEAN OF RESIDUE OR OTHER CHEMICALS THAT WOULD IMPEDE PROPER INSTALLATION AND ADHESION OF FINISH MATERIALS.
 - CEILING MOUNTED LIGHT FIXTURES SHALL BE REMOVED FOR CEILING ABATEMENT AND REINSTALLED PRIOR TO PROJECT COMPLETION.
 - WOOD TRIM AT TOP OF WALLS AND ALL SURFACE MOUNTED CONDUIT SHALL REMAIN.

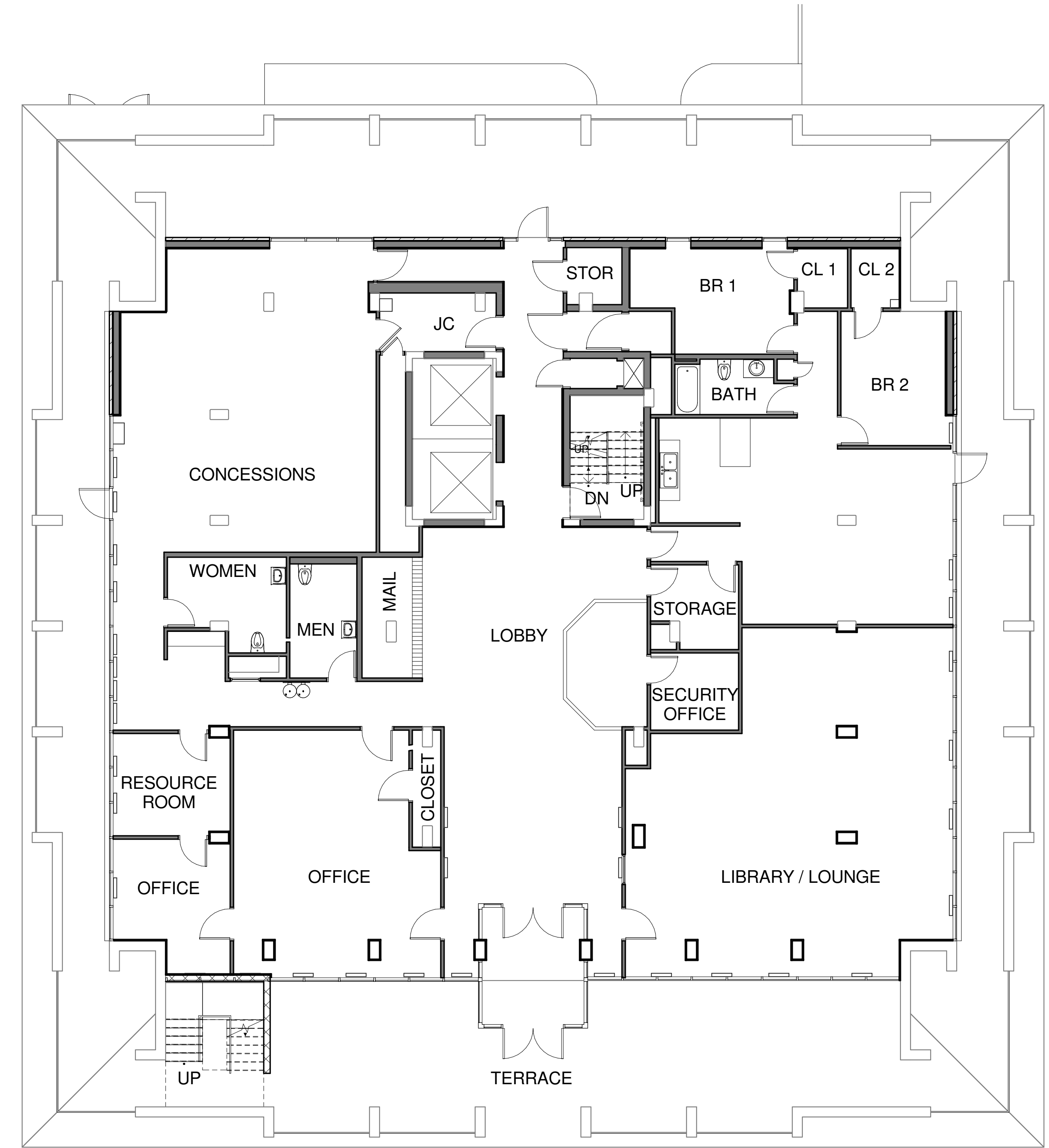
DEMOLITION SYMBOL LEGEND

- REMOVE CARPET AND ADHESIVE. TEST ALL LAYERS OF MATERIALS UNDER THE CARPET FOR PRESENCE OF ACM. ALL SURFACES FOUND TO HAVE ACM SHALL BE REMOVED ACCORDINGLY.
- FLOORING SYSTEM CONTAINING ACM MATERIALS. REMOVE ALL FLOOR FINISH MATERIALS TO THE CONCRETE SUBSTRATE.
- ALTERNATE #1**
CEILING SURFACES CONTAINING ACM MATERIALS. REMOVE ALL OVERHEAD SURFACES TO THE SUBSTRATE. NOTE: SURFACES ARE APPLIED TO CONCRETE STRUCTURE AND BUILT OUT ELEMENTS. WHERE PRESENT, EXCLUDE METAL FIRE PROTECTION SOFFITS.

ALL DEMOLITION ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE PROJECT SPECIFICATIONS



GROUND FLOOR ABATEMENT PLAN
 1/8" = 1'-0"



FIRST FLOOR ABATEMENT PLAN
 1/8" = 1'-0"

PLAN IS INCLUDED FOR REFERENCE ONLY. NO WALL OR FLOORING WORK ON THIS LEVEL.

BID SET

SANFORD HALL ABATEMENT

UNC Charlotte
 9201 University City Blvd. Charlotte, NC 28223

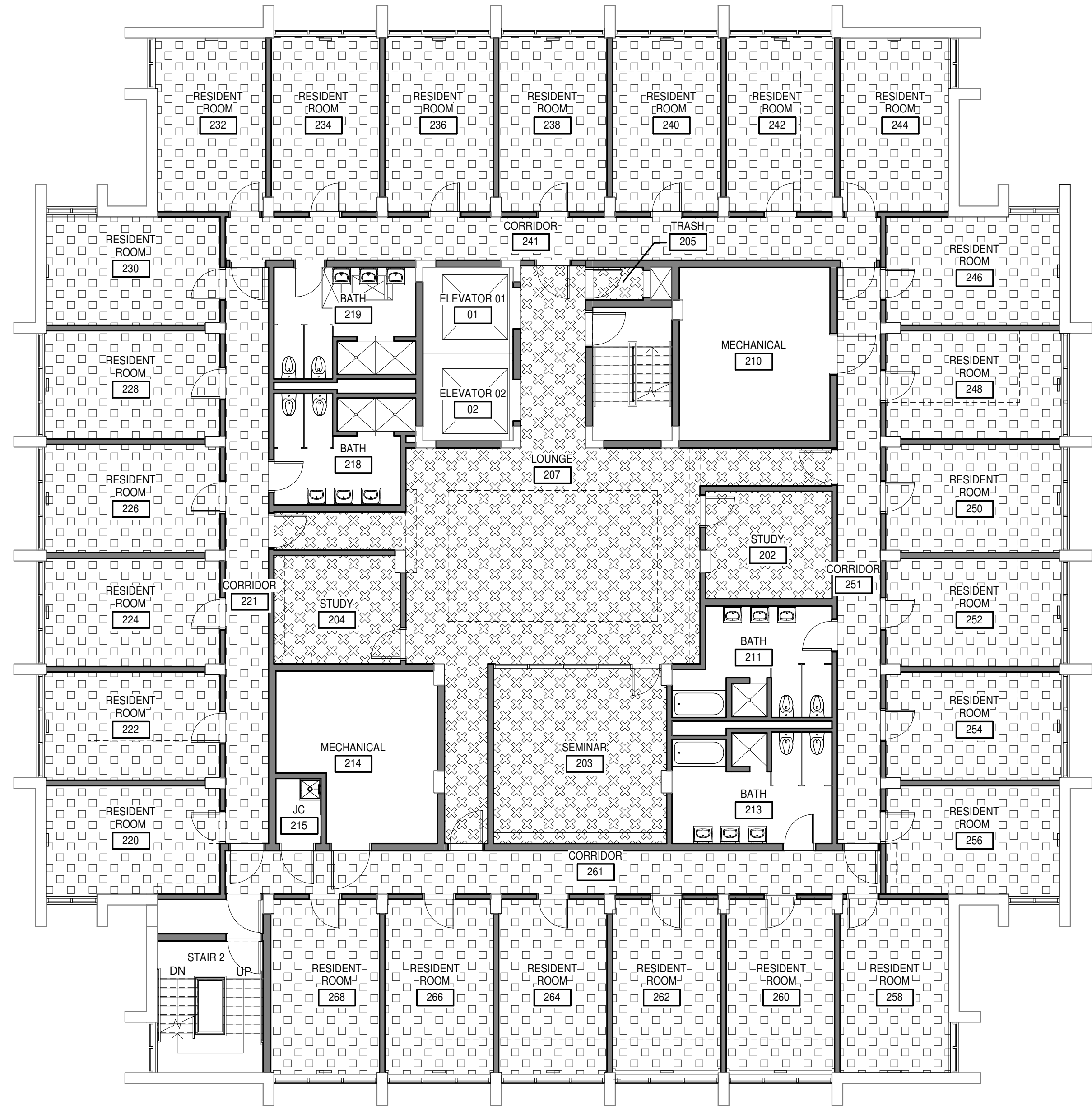
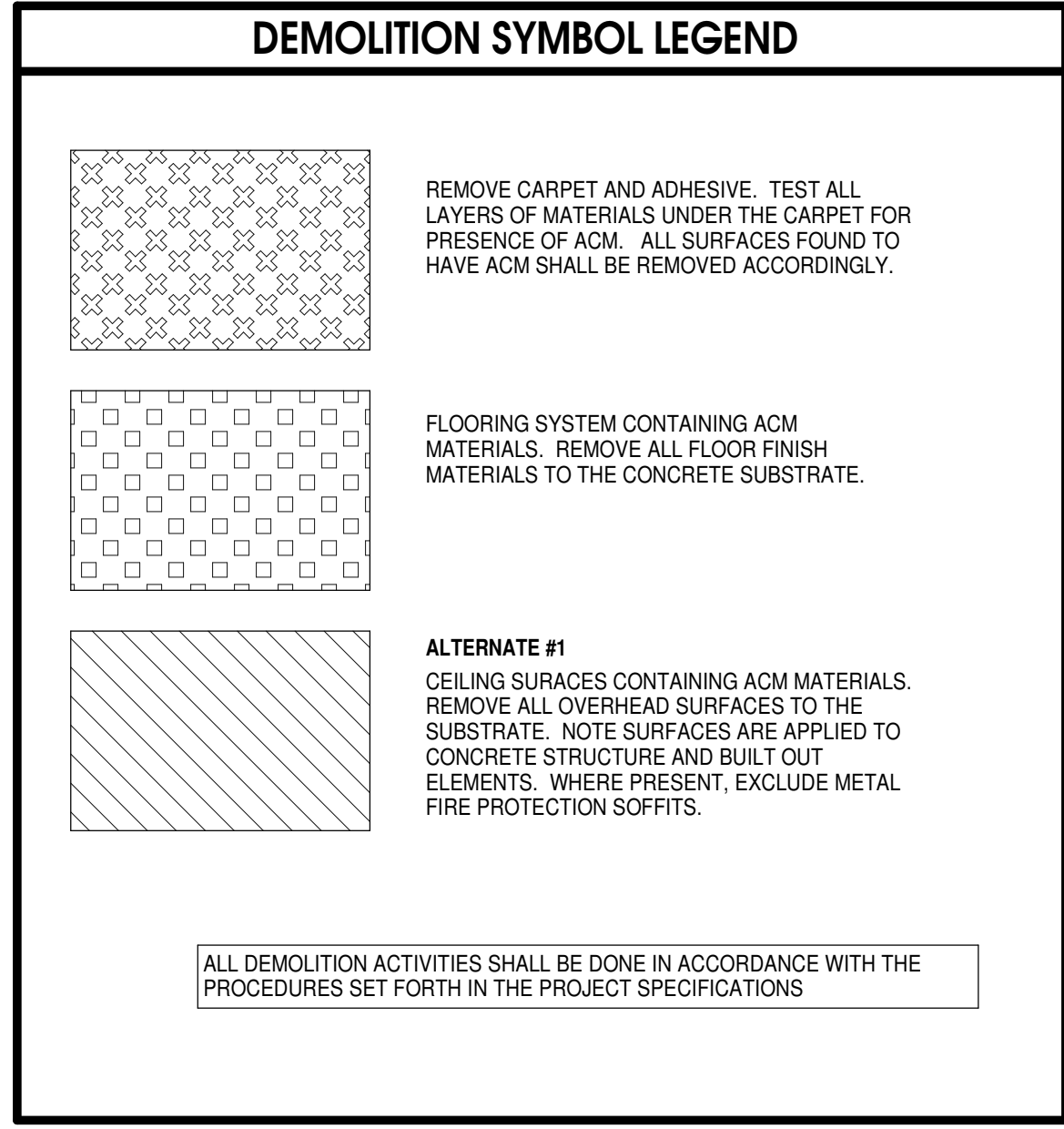
PROJECT NO:	DATE:
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REVISIONS	
DATE	DESCRIPTION
12-7-15	ADDENDUM 1

ABATEMENT FLOOR PLANS

A1.0.1



- GENERAL NOTES**
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 - DAMAGE OCCURRING DURING SCOPE OF WORK IS TO BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SIMILAR CONDITIONS.
 - PATCH AND REPAIR ANY FLOOR DAMAGE CAUSED DURING DEMOLITION TO MAINTAIN EVEN SURFACE.
 - REFER TO ABATEMENT SPECIFICATION SECTION 02080 FOR ADDITIONAL INFORMATION.
 - REFER TO FINISH SCHEDULE FOR ADDITIONAL WORK.
 - ROOM NUMBERS SHOWN IN DOCUMENTS ARE FOR CONSTRUCTION COORDINATION ONLY. ACTUAL ROOM NUMBERS MAY VARY.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND PROTECTING EXISTING FURNITURE FROM AREAS OF ACTIVE ABATEMENT WORK. AFTER DEMOLITION AND ABATEMENT ACTIVITIES ARE COMPLETE, CONTRACTOR SHALL CLEAN ALL FURNITURE AND REINSTALL IN ORIGINAL LOCATIONS.
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 - WOOD TRIM AT TOP OF WALLS AND ALL SURFACE MOUNTED CONDUIT SHALL REMAIN.



TYPICAL EVEN FLOOR ABATEMENT PLAN (FLOORS - 2, 4, 6, 8, 10)
 1/8" = 1'-0"



TYPICAL ODD FLOOR ABATEMENT PLAN (FLOORS - 3, 5, 7, 9, 11)
 1/8" = 1'-0"

BID SET

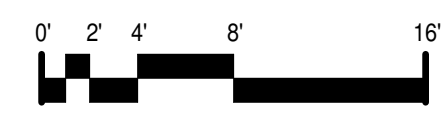
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 9201 University City Blvd. Charlotte, NC 28223

PROJECT NO:	DATE:
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ABATEMENT FLOOR PLANS

A1.0.2





BID SET

SANFORD HALL ABATEMENT
 UNC Charlotte
 9201 University City Blvd. Charlotte, NC 28223

PROJECT NO:	DATE:
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ABATEMENT RCP AND FINISH SCHEDULE

A1.0.3

FINISH SCHEDULE - BASEMENT				
NUMBER	NAME	Ceiling Finish	Comments	
1	LOBBY	EX	2	
01	ELEVATOR 01	EX	2	
2	HOUSEKEEPING	EX	2	
02	ELEVATOR 02	EX	2	
3	STUDENT LOUNGE	EX	2	
4	LAUNDRY	EX	2	
5	HOUSEKEEPING	EX	2	
6	LOUNGE	EX	2	
7	STORAGE	EX	2	
8	MECHANICAL ROOM	EX	2	
9	TRANSFORMER ROOM	EX	2	
10	PUMP ROOM	EX	2	
11	PBX ROOM	EX	2	
12	TRASH ROOM	EX	2	
13	FIRE PUMP ROOM	EX	2	
14	STAIR 1	PT-1	1,4	
15	PANTRY	EX	2	
16	CRAWL SPACE	EX	2	

FINISH SCHEDULE GENERAL NOTES

A. FINISH SCHEDULE DESCRIBES ONLY THE BASIC OR PREDOMINANT SURFACE FINISH.
 B. BULKHEADS AND SOFFITS NOT SPECIFICALLY INDICATED IN FINISH SCHEDULES SHALL BE TREAT SIMILAR TO THE ADJACENT CEILING FINISH
 C. ALL REPLACEMENT FLOOR FINISHES SHALL BE BY THE OWNER.

FINISH SCHEDULE ABBREVIATIONS

ABBREVIATION	DESCRIPTION
EX	EXISTING TO REMAIN
PLAS	PLASTER SKIM COAT
PT	PAINT
STF	SPRAY TEXTURED FINISH

FINISH SCHEDULE COMMENT KEYNOTES

1. ALTERNATE 1 - PROVIDE SCHEDULED CEILING FINISH
 2. NO WORK IN THIS SPACE
 3. ALTERNATE 2 - PROVIDE PLAS / PT-1 IN LIEU OF SCHEDULED FINISH
 4. WORK INDICATED FOR THIS STAIR INCLUDES ALL LEVELS IN THE BUILDING

GENERAL NOTES

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- CEILING MOUNTED LIGHT FIXTURES SHALL BE REMOVED FOR CEILING ABATEMENT AND REINSTALLED PRIOR TO PROJECT COMPLETION.
- WOOD TRIM AT TOP OF WALLS AND ALL SURFACE MOUNTED CONDUIT SHALL REMAIN.

DEMOLITION SYMBOL LEGEND

REMOVE CARPET AND ADHESIVE. TEST ALL LAYERS OF MATERIALS UNDER THE CARPET FOR PRESENCE OF ACM. ALL SURFACES FOUND TO HAVE ACM SHALL BE REMOVED ACCORDINGLY.

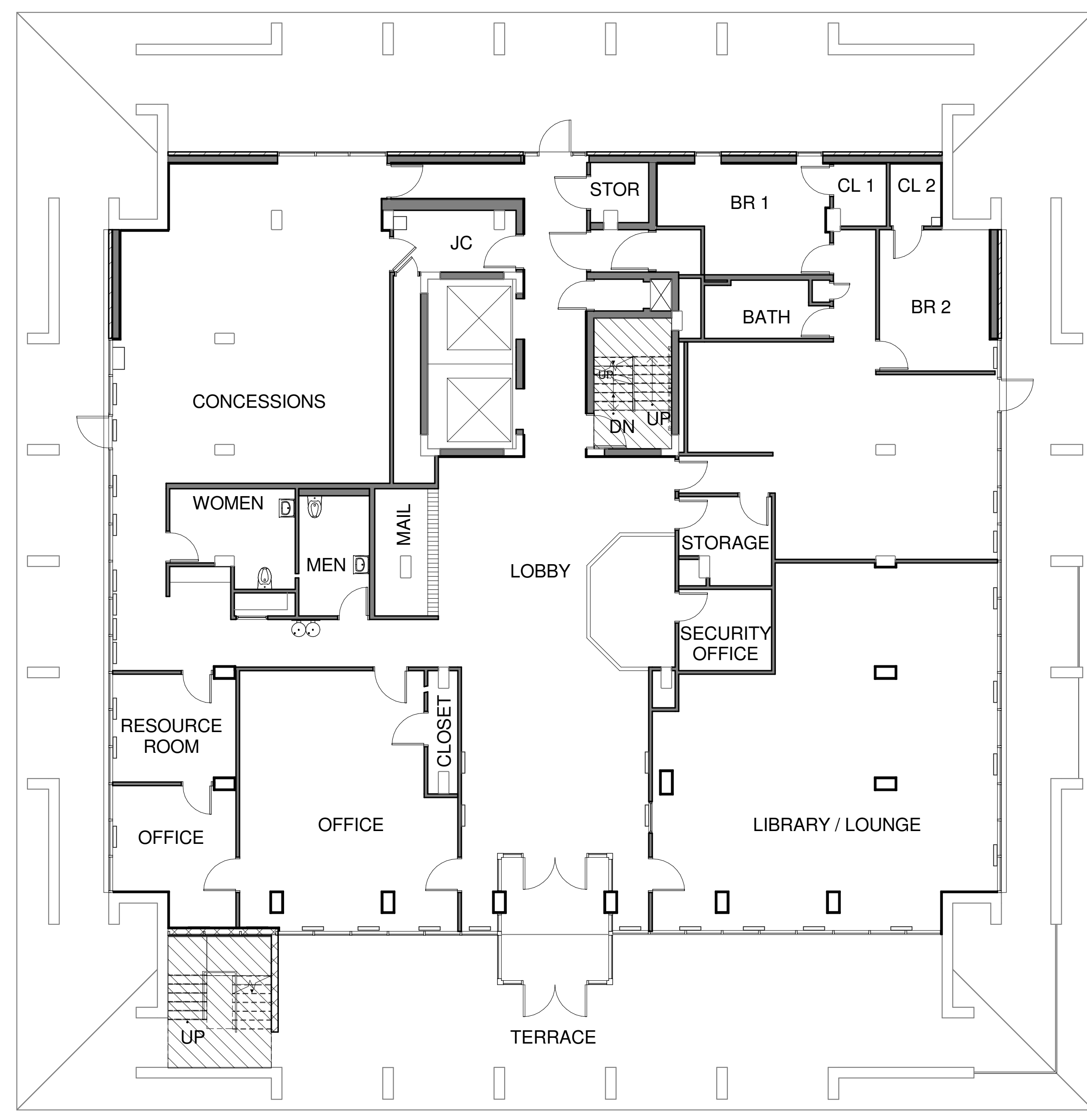
FLOORING SYSTEM CONTAINING ACM MATERIALS. REMOVE ALL FLOOR FINISH MATERIALS TO THE CONCRETE SUBSTRATE.

ALTERNATE #1
 CEILING SURFACES CONTAINING ACM MATERIALS. REMOVE ALL OVERHEAD SURFACES TO THE SUBSTRATE. NOTE SURFACES ARE APPLIED TO CONCRETE STRUCTURE AND BUILT OUT ELEMENTS, WHERE PRESENT. EXCLUDE METAL FIRE PROTECTION SOFFITS.

ALL DEMOLITION ACTIVITIES SHALL BE DONE IN ACCORDANCE WITH THE PROCEDURES SET FORTH IN THE PROJECT SPECIFICATIONS



GROUND FLOOR RCP ABATEMENT PLAN
 1/8" = 1'-0"



FIRST FLOOR RCP ABATEMENT PLAN
 1/8" = 1'-0"

FINISH SCHEDULE - EVEN FLOORS				
NUMBER	NAME	CEILING	NOTES	
202	STUDY	STF-1	1,3	
203	SEMINAR	STF-1	1,3	
204	STUDY	STF-1	1,3	
205	TRASH	EX	2	
207	LOUNGE	STF-1	1,3	
210	MECHANICAL	EX	2	
211	BATH	EX	2	
213	BATH	EX	2	
214	MECHANICAL	EX	2	
215	JC	EX	2	
216	STAIR 2	PT-1	1,4	
218	BATH	EX	2	
219	BATH	EX	2	
220	RESIDENT ROOM	STF-1	1,3	
221	CORRIDOR	EX	2	
222	RESIDENT ROOM	STF-1	1,3	
224	RESIDENT ROOM	STF-1	1,3	
225	RESIDENT ROOM	STF-1	1,3	
228	RESIDENT ROOM	STF-1	1,3	
230	RESIDENT ROOM	STF-1	1,3	
232	RESIDENT ROOM	STF-1	1,3	
234	RESIDENT ROOM	STF-1	1,3	
236	RESIDENT ROOM	STF-1	1,3	
238	RESIDENT ROOM	STF-1	1,3	
240	RESIDENT ROOM	STF-1	1,3	
241	CORRIDOR	EX	2	
242	RESIDENT ROOM	STF-1	1,3	
244	RESIDENT ROOM	STF-1	1,3	
246	RESIDENT ROOM	STF-1	1,3	
248	RESIDENT ROOM	STF-1	1,3	
250	RESIDENT ROOM	STF-1	1,3	
251	CORRIDOR	EX	2	
252	RESIDENT ROOM	STF-1	1,3	
254	RESIDENT ROOM	STF-1	1,3	
256	RESIDENT ROOM	STF-1	1,3	
258	RESIDENT ROOM	STF-1	1,3	
260	RESIDENT ROOM	STF-1	1,3	
261	CORRIDOR	EX	2	
262	RESIDENT ROOM	STF-1	1,3	
264	RESIDENT ROOM	STF-1	1,3	
266	RESIDENT ROOM	STF-1	1,3	
268	RESIDENT ROOM	STF-1	1,3	

FINISH SCHEDULE - ODD FLOORS				
NUMBER	NAME	CEILING	NOTES	
302	STUDY	STF-1	1,3	
303	SEMINAR	STF-1	1,3	
304	STUDY	STF-1	1,3	
305	TRASH	EX	2	
307	LOUNGE	STF-1	1,3	
310	MECHANICAL	EX	2	
311	BATH	EX	2	
313	BATH	EX	2	
314	MECHANICAL	EX	2	
315	JC	EX	2	
318	BATH	EX	2	
319	BATH	EX	2	
320	RESIDENT ROOM	STF-1	1,3	
321	CORRIDOR	EX	2	
322	RESIDENT ROOM	STF-1	1,3	
324	RESIDENT ROOM	STF-1	1,3	
326	RESIDENT ROOM	STF-1	1,3	
328	RESIDENT ROOM	STF-1	1,3	
330	RESIDENT ROOM	STF-1	1,3	
332	RESIDENT ROOM	STF-1	1,3	
334	RESIDENT ROOM	STF-1	1,3	
336	RESIDENT ROOM	STF-1	1,3	
338	RESIDENT ROOM	STF-1	1,3	
340	RESIDENT ROOM	STF-1	1,3	
341	CORRIDOR	EX	2	
342	RESIDENT ROOM	STF-1	1,3	
344	RESIDENT ROOM	STF-1	1,3	
346	RESIDENT ROOM	STF-1	1,3	
348	RESIDENT ROOM	STF-1	1,3	
350	RESIDENT ROOM	STF-1	1,3	
351	CORRIDOR	EX	2	
352	RESIDENT ROOM	STF-1	1,3	
354	RESIDENT ROOM	STF-1	1,3	
356	RESIDENT ROOM	STF-1	1,3	
358	RESIDENT ROOM	STF-1	1,3	
360	RESIDENT ROOM	STF-1	1,3	
361	CORRIDOR	EX	2	
362	RESIDENT ROOM	STF-1	1,3	
364	RESIDENT ROOM	STF-1	1,3	
366	RESIDENT ROOM	STF-1	1,3	
368	RESIDENT ROOM	STF-1	1,3	

FINISH SCHEDULE GENERAL NOTES

A. FINISH SCHEDULE DESCRIBES ONLY THE BASIC OR PREDOMINANT SURFACE FINISH.

B. BULKHEADS AND SOFFITS NOT SPECIFICALLY INDICATED IN FINISH SCHEDULES SHALL BE TREATED SIMILAR TO THE ADJACENT CEILING FINISH.

C. ALL REPLACEMENT FLOOR FINISHES SHALL BE BY THE OWNER.

FINISH SCHEDULE ABBREVIATIONS

ABBREVIATION	DESCRIPTION
EX	EXISTING TO REMAIN
PLAS	PLASTER SKIM COAT
PT	PAINT
STF	SPRAY TEXTURED FINISH

FINISH SCHEDULE COMMENT KEYNOTES

1. ALTERNATE 1 - PROVIDE SCHEDULED CEILING FINISH
2. NO WORK IN THIS SPACE
3. ALTERNATE 2 - PROVIDE PLAS / PT-1 IN LIEU OF SCHEDULED FINISH
4. WORK INDICATED FOR THIS STAIR INCLUDES ALL LEVELS IN THE BUILDING

GENERAL NOTES

1. REMOVE EXISTING CONSTRUCTION AS INDICATED. DEMOLITION SHALL BE TO THE LEAST EXTENT POSSIBLE IN ORDER TO COMPLETE THE WORK. DO NOT PERFORM DEMOLITION BEYOND THE SCOPE OF CONSTRUCTION.
2. DETAILS OF EXISTING CONDITIONS, ACTUAL FIELD CONDITIONS WHICH ARE CONCEALED BY EXISTING CONSTRUCTION MAY VARY FROM THOSE INDICATED. ALL WORK THAT RELATES TO, OR IS IN ANY WAY AFFECTED BY EXISTING CONDITIONS WHICH VARY FROM THOSE INDICATED SHALL BE MODIFIED TO ACHIEVE THE REQUIREMENTS OF THE CONTRACT DOCUMENTS ACCORDING TO FIELD ASSESSMENTS AND MEASUREMENTS. REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH AFFECTED ASPECTS OF DEMOLITION OR CONSTRUCTION.
3. DAMAGE OCCURRING DURING SCOPE OF WORK IS TO BE PATCHED, REPAIRED AND FINISHED TO MATCH ADJACENT SIMILAR CONDITIONS.
4. PATCH AND REPAIR ANY FLOOR DAMAGE CAUSED DURING DEMOLITION TO MAINTAIN EVEN SURFACE.
5. REFER TO ABATEMENT SPECIFICATION SECTION 02880 FOR ADDITIONAL INFORMATION.
6. REFER TO FINISH SCHEDULE FOR ADDITIONAL WORK.
7. ROOM NUMBERS SHOWN IN DOCUMENTS ARE FOR CONSTRUCTION COORDINATION ONLY. ACTUAL ROOM NUMBERS MAY VARY.
8. CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING AND PROTECTING EXISTING FURNITURE FROM AREAS OF ACTIVE ABATEMENT WORK. AFTER DEMOLITION AND ABATEMENT ACTIVITIES ARE COMPLETE, CONTRACTOR SHALL CLEAN ALL FURNITURE AND REINSTALL IN ORIGINAL LOCATION.
9. UPON COMPLETION OF ABATEMENT ACTIVITIES, CONTRACTOR SHALL ENSURE ALL ABATED SURFACES ARE CLEAN OF RESIDUE OR OTHER CHEMICALS THAT WOULD IMPEDE PROPER INSTALLATION AND ADHESION OF FINISH MATERIALS.
10. CEILING MOUNTED LIGHT FIXTURES SHALL BE REMOVED FOR CEILING ABATEMENT AND REINSTALLED PRIOR TO PROJECT COMPLETION.
11. WOOD TRIM AT TOP OF WALLS AND ALL SURFACE MOUNTED CONDUIT SHALL REMAIN.

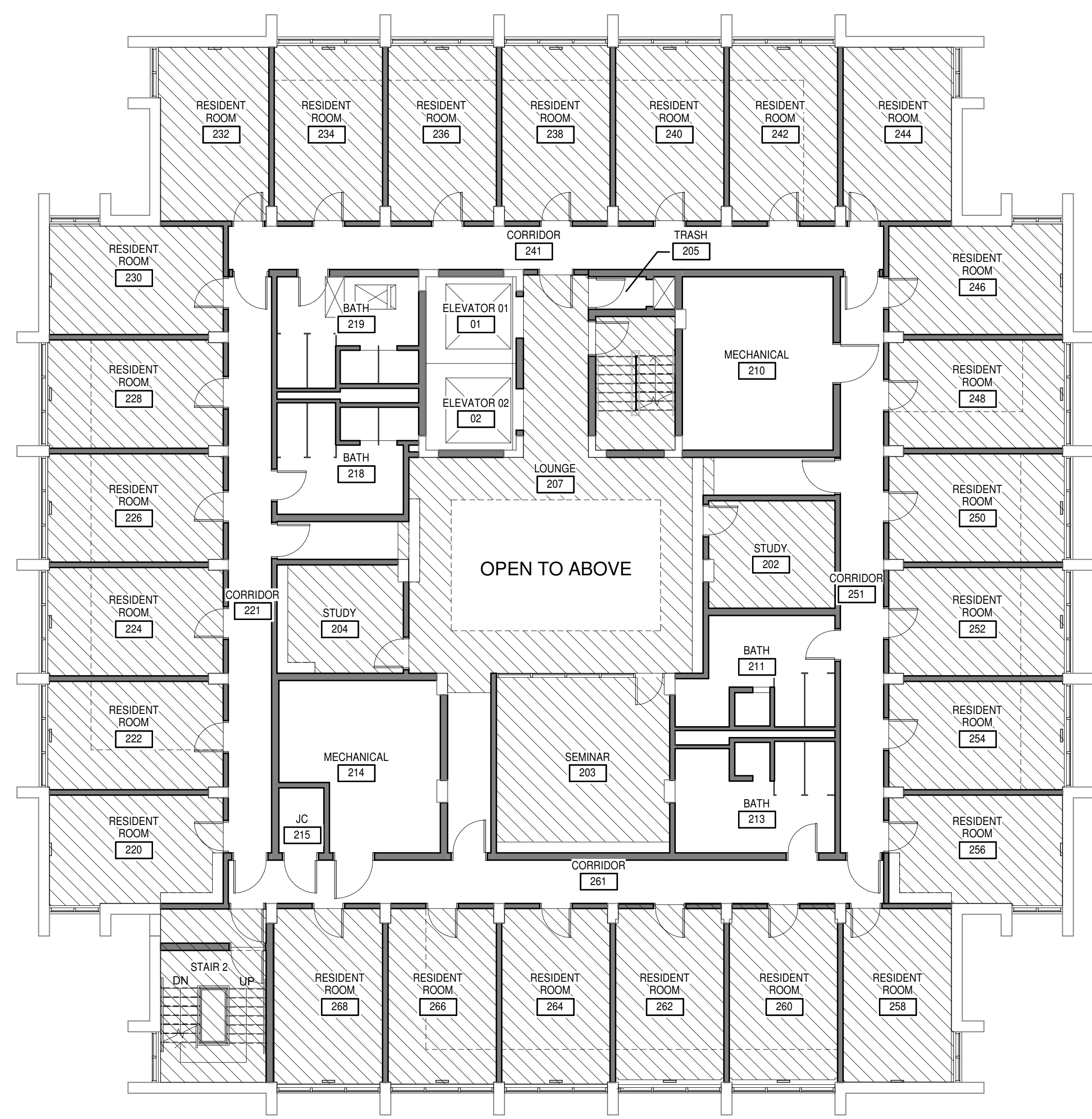
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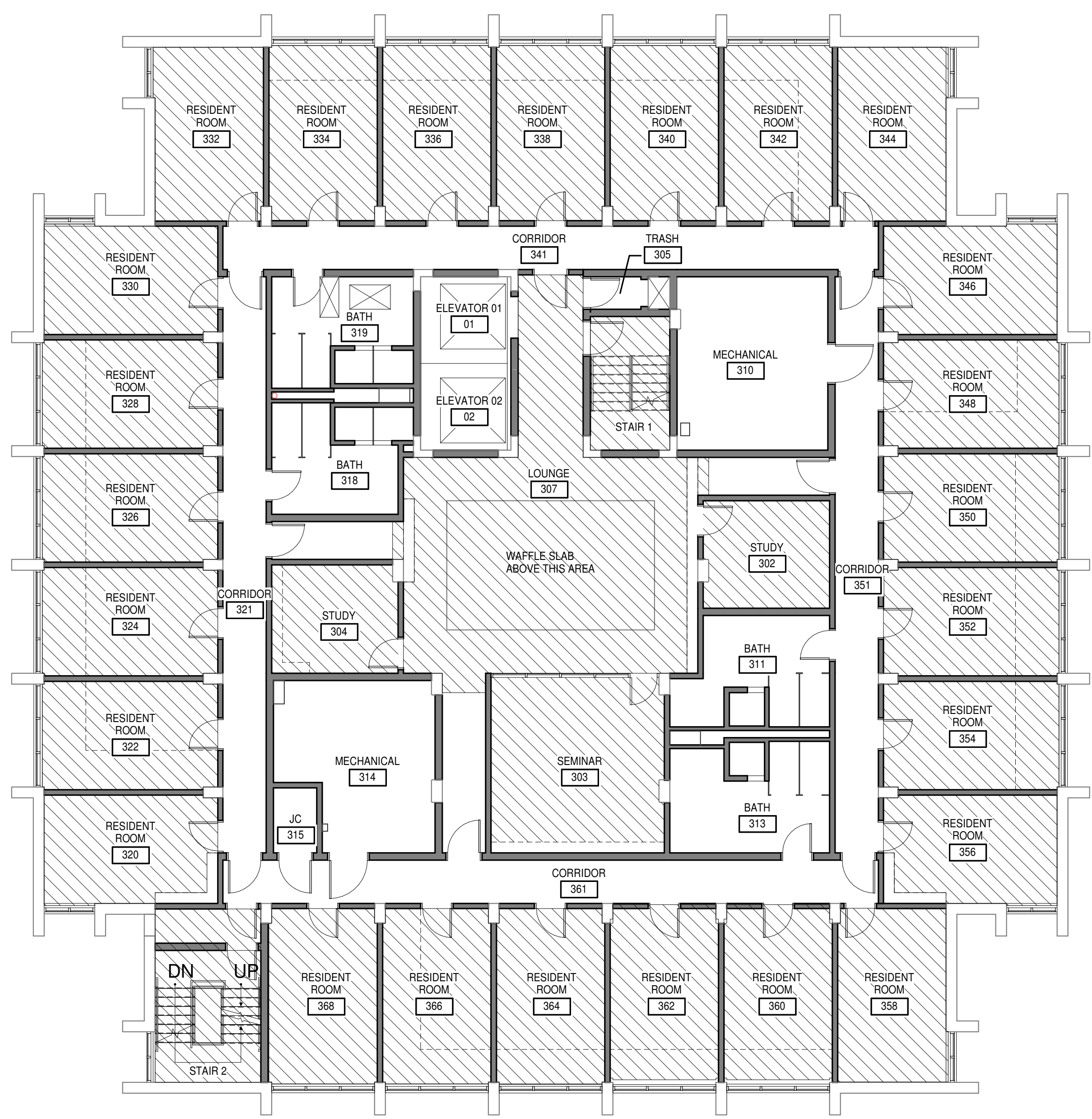
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TYPICAL EVEN FLOORS RCP ABATEMENT PLAN (FLOORS - 2, 4, 6, 8, 10)
1/8" = 1'-0"



TYPICAL ODD FLOORS RCP ABATEMENT PLAN (FLOORS - 3, 5, 7, 9, 11)
1/8" = 1'-0"



BID SET

SANFORD HALL ABATEMENT
UNC Charlotte
9201 University City Blvd. Charlotte, NC 28223

PROJECT NO.	DATE
531233	NOVEMBER 6, 2015
DATE	REVISIONS DESCRIPTION
12-7-15	ADDENDUM 1

ABATEMENT RCP AND FINISH SCHEDULE

A1.0.4