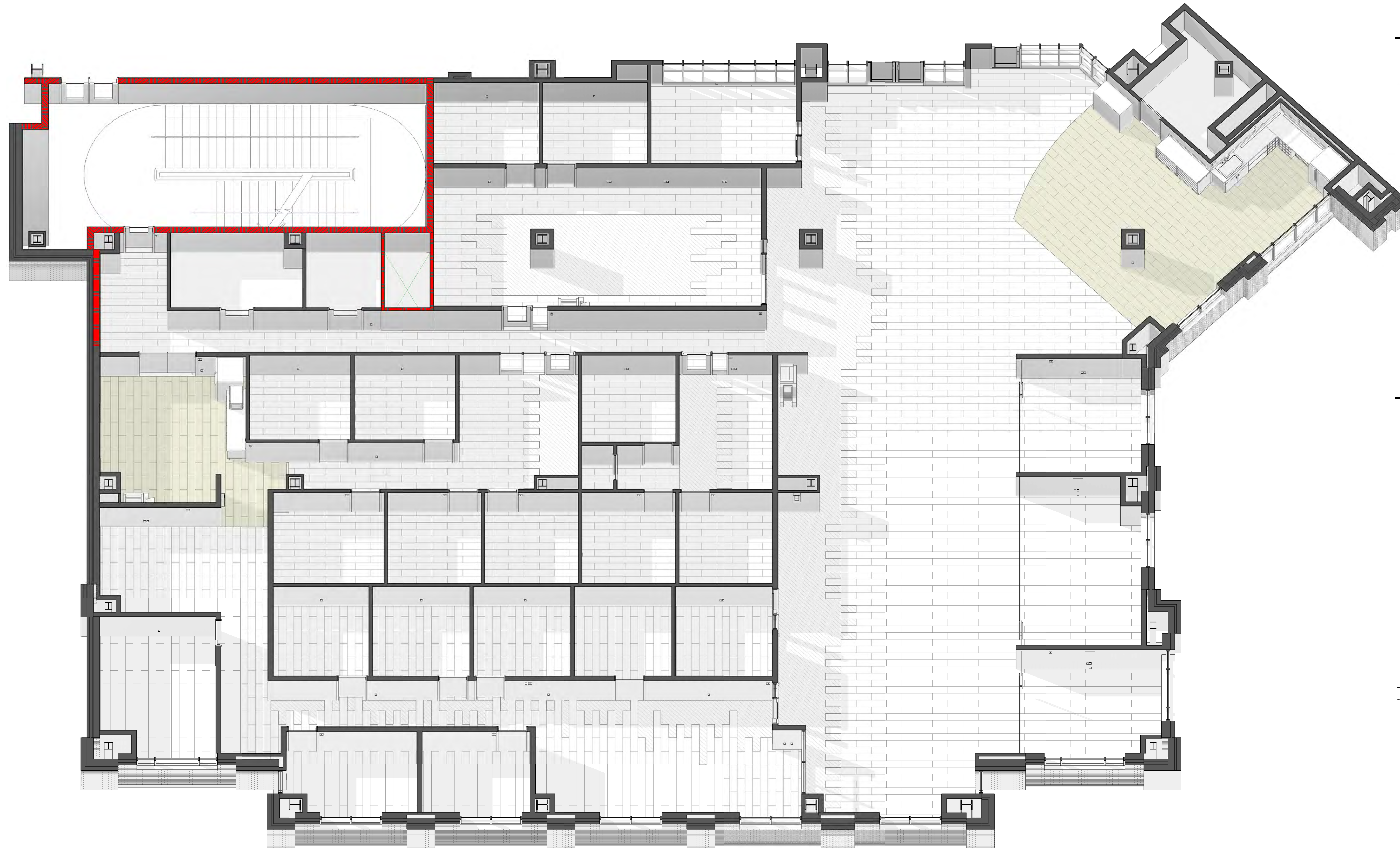


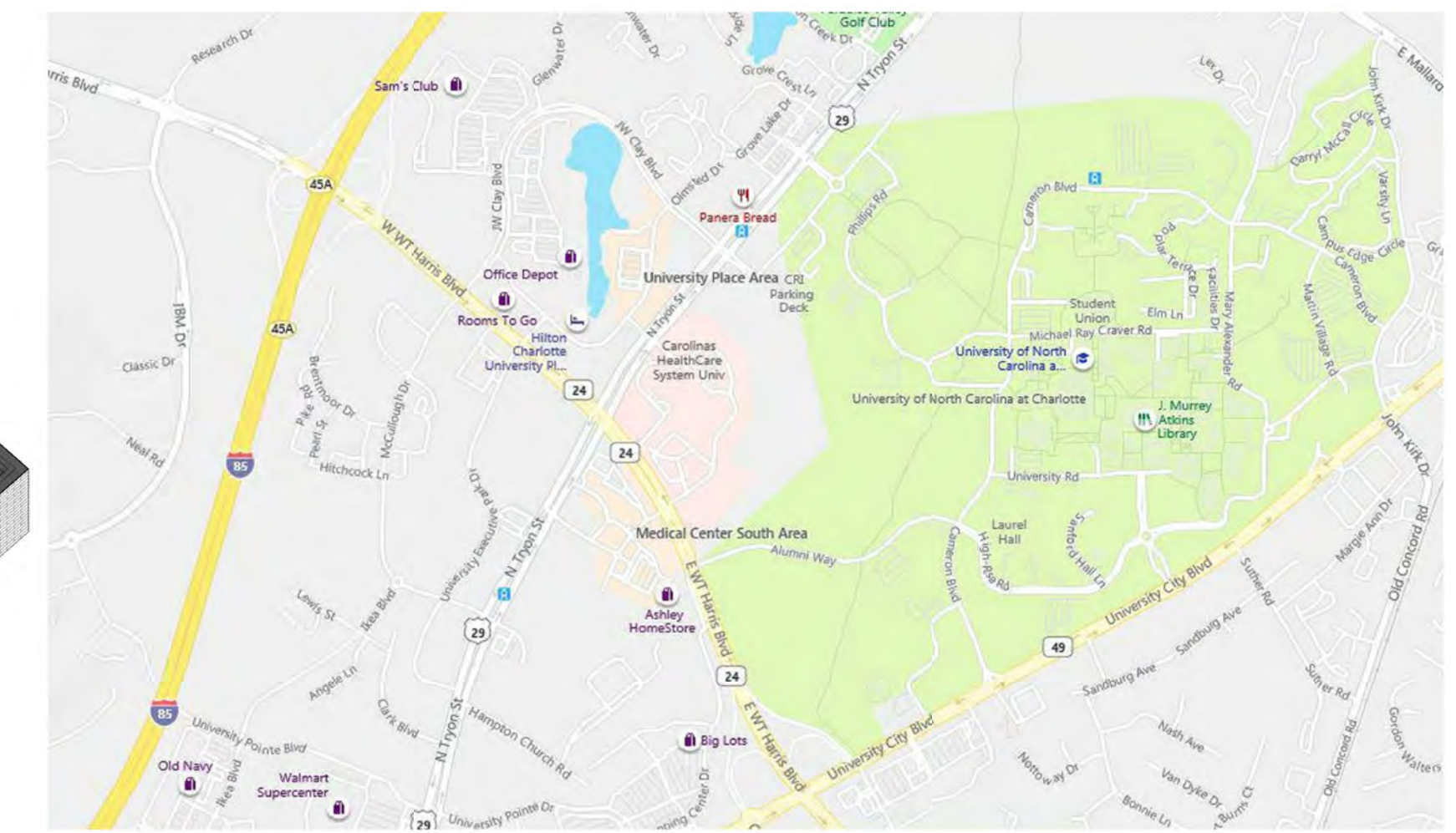
# UNCC-SGO RENOVATIONS

STUDENT GOVERNMENT OFFICE, STE 200  
 UNC CHARLOTTE - POPP MARTIN STUDENT UNION  
 9201 UNIVERSITY CITY BLVD.  
 CHARLOTTE, NC 28223  
**BID SET - 03/23/20**

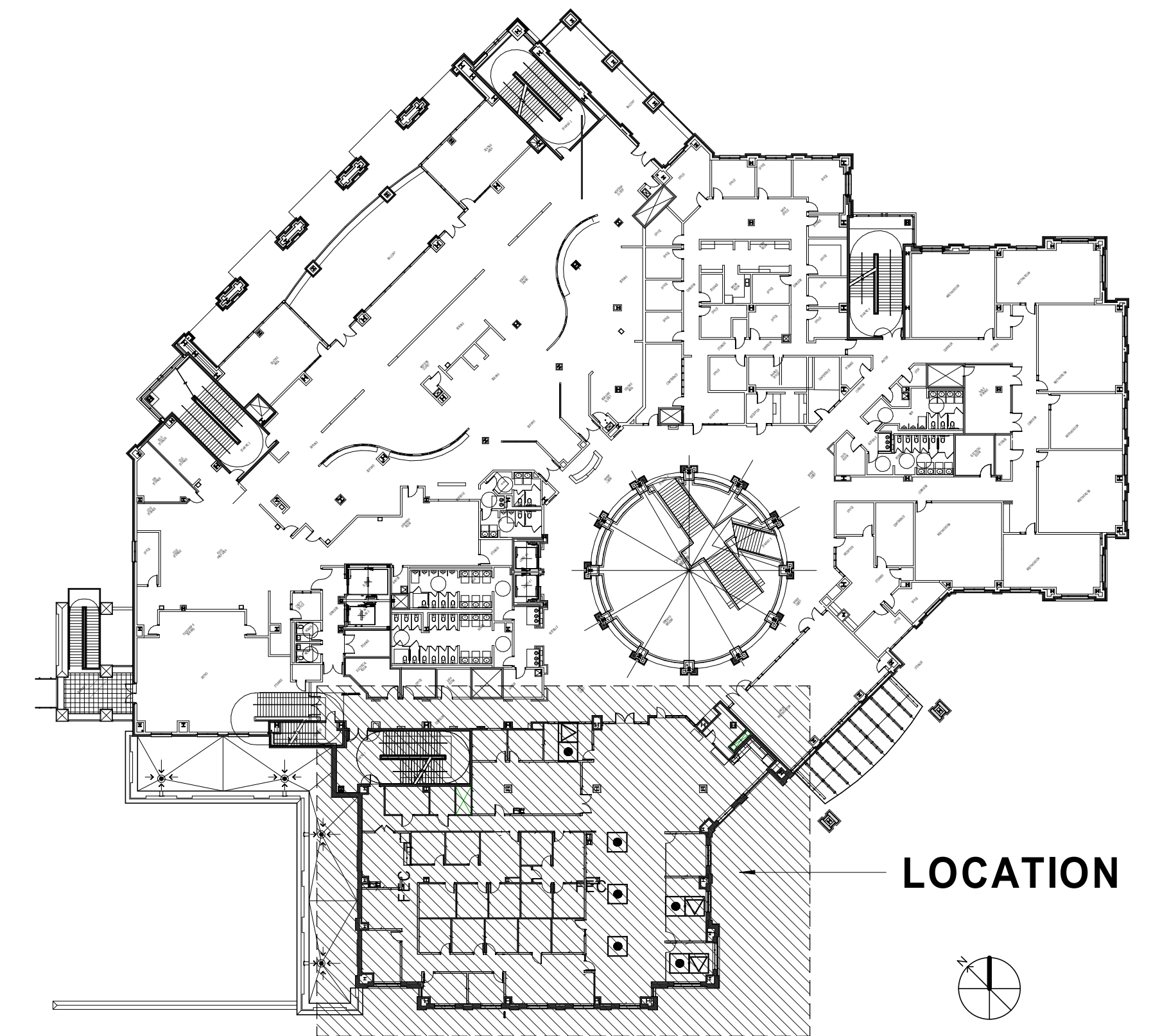
SCO PROJECT #18-18336-01A



VACINITY MAP



LOCATION MAP



LOCATION

**OWNER**  
 UNC CHARLOTTE  
 9201 UNIVERSITY CITY BLVD.  
 CHARLOTTE, NC 28223  
 704-687-0534  
 AMANDA CAUDLE

**ARCHITECT**  
 LITTLE  
 615 SOUTH COLLEGE ST, STE 1600  
 CHARLOTTE, NC 28202  
 704-561-3205  
 SHANNON RYDELL

**PLUMBING**  
 MCCrackEN & LOPEZ  
 8801 J.M. KEYNES DRIVE, STE 240  
 CHARLOTTE, NC 28262  
 704-376-7072  
 JAMES CURRIE

**MECHANICAL**  
 MCCrackEN & LOPEZ  
 8801 J.M. KEYNES DRIVE, STE 240  
 CHARLOTTE, NC 28262  
 704-376-7072  
 JAMES CURRIE

**ELECTRICAL**  
 MCCrackEN & LOPEZ  
 8801 J.M. KEYNES DRIVE, STE 240  
 CHARLOTTE, NC 28262  
 704-376-7072  
 GAIL CRAIG

**FIRE PROTECTION**  
 MCCrackEN & LOPEZ  
 8801 J.M. KEYNES DRIVE, STE 240  
 CHARLOTTE, NC 28262  
 704-376-7072  
 JAMES CURRIE



ISSUE FOR  
 BID SET

ISSUE DATE  
 03/23/20

REVISIONS  
 NO. REASON DATE

NO.	REASON	DATE

**PROJECT TEAM**  
 PRINCIPAL IN CHARGE  
 SR  
 PROJECT MANAGER  
 AS  
 DESIGN TEAM  
 CE  
**PROJECT NAME**  
 UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01  
 PROJECT NO.  
 113-1001-00  
 SHEET TITLE  
 COVER SHEET

SHEET NUMBER  
 CS



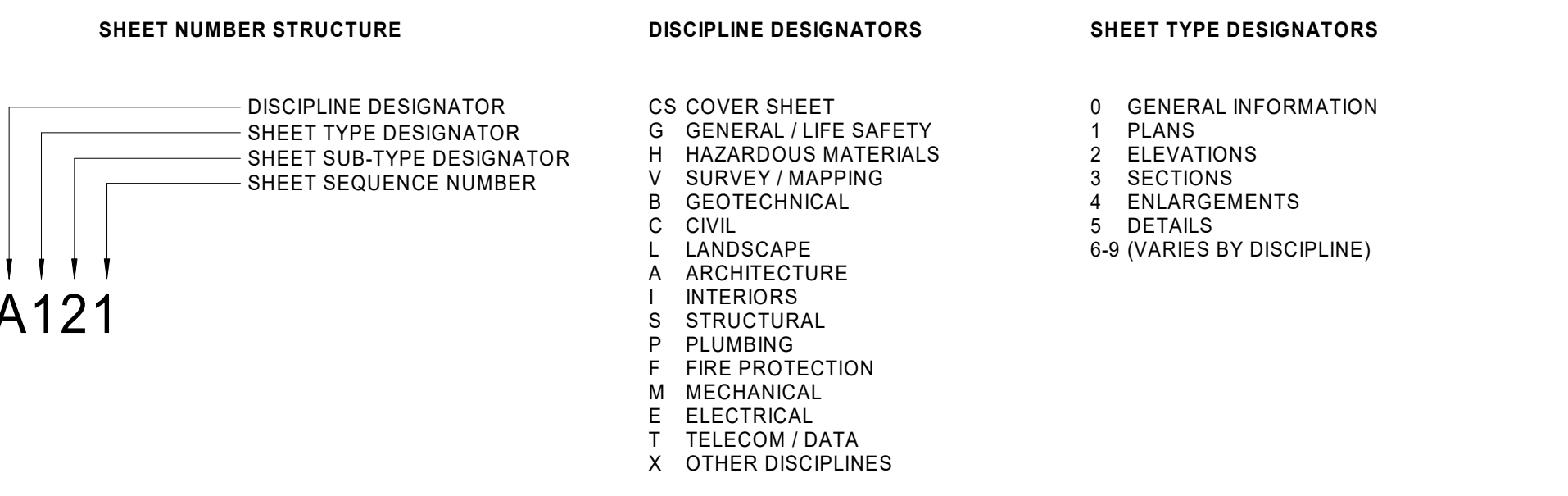
ABBREVIATIONS

Abbr.	Abbreviated Phrase	Abbr.	Abbreviated Phrase	Abbr.	Abbreviated Phrase
ACT	ACOUSTIC CEILING TILE	FOS	FACE OF SHEATHING	PEB	PEDESTAL, PEDESTRIAN, PEDIATRIC
ADA	AMERICANS WITH DISABILITIES ACT	FR	FIRE RETARDANT TREATED	PER	PERFORATED
ADJ	ADJUSTABLE	FT	FOOT, FEET	PFB	PREFABRICATED(D)
AED	AUTOMATED EXTERNAL DEFIBRILLATOR	FURR	FURR(ED), (ING)	PFN	PREFINISHED(ED)
AFF	ABOVE FINISH FLOOR	FUT	FUTURE	PL, PLAM	PLASTIC LAMINATE
AL	ALUMINUM	FWC	FABRIC WALL COVERING	PLAS	PLASTER, PLASTIC
ALT	ALTERNATE	FWP	FABRIC WRAPPED PANEL	PLYWD	PLYWOOD
AMC	ACOUSTICAL METAL CEILING	GA	GAUGE	PNL	PANEL
APPROX	APPROXIMATE	GALV	GALVANIZED	PNT	PAINT(ED)
ARCH	ARCHITECTURAL	GB	GLASS BOARD	PR	PAIR
AWC	ACOUSTICAL WOOD CEILING	GC	GENERAL CONTRACTOR	PT	PRESSURE TREAT(ED)
		GL	GLASS, GLAZING	PTN	PARTITION
		GR	GROUT	QT	QUARRY TILE, QUART
BBD	BULLETIN BOARD	GRAN	GRANITE	RB	RUBBER BASE
BD	BOARD	GWB	GYPSPUM WALL BOARD	RBT	RUBBER TILE
BO	BOTTOM OF	GYP	GYPSPUM	REC	RECEPTACLE
BOT	BOTTOM			REF	REFERENCE, REFER
		HC	HOLLOW CORE	REFR	REFRIGERATOR
CL, CL	CENTERLINE	HD	HAND DRYER	REQD	REQUIRED
CAB	CABINET	HR	HEADER	RM	ROOM
CC	CUBICLE CURTAIN	HRZ	HORIZONTAL(LY)	RS	RESILIENT
CIR	CIRCLE	HR	HOUR	S&R	SHELF AND ROD
CLG	CEILING	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	SCW	SOLID CORE WOOD
CLOS	CLOSET	HWD	HARDWOOD	SECT	SECTION
CLR	CLEARANCE	IBC	INTERNATIONAL BUILDING CODE	SF	SQUARE FEET
COL	COLUMN	ID	INSIDE DIAMETER	SFRM	SPRAYED FIRE RESISTIVE MATERIAL
CON	CONCRETE	INCL	INCLUDE(D), (ING)	SHR	SHOWER
CONC	CONCRETE	INSUL	INSULATE(D), (ING)	SIM	SIMILAR
CONST	CONSTRUCTION	INT	INTERIOR	SPEC	SPECIFICATION(S)
CONT	CONTINUOUS / CONTINUE	INT	INTERIOR	SS	STAINLESS STEEL
CONTR	CONTRACTOR	JAN	JANITOR'S CLOSET	SSM	SOLID SURFACE MATERIAL
COORD	COORDINATE	JT	JOINT	ST	STONE
CPT	CARPET	KIT	KITCHEN	STD	STANDARD
CRB	COVERED RUBBER BASE	KPL	KICK PLATE	STOR	STORAGE
CT	CERAMIC OR PORCELAIN TILE	L	LENGTH	SUSP	SUSPENDED
CTR	CENTER	LAM	LAMINATE(D)	SUSP CLG	SUSPENDED CEILING
D	DRYER	LCKR	LOCKER	SV	SHEET VINYL
DBL	DOUBLE	LIN	LINOLEUM	SYS	SYSTEM
DEG	DEGREE	LT	LIGHT	TEMP	TEMPERED, TEMPORARY
DEMO	DEMOLISH / DEMOLITION	LVL	LAMINATED VENEER LUMBER	TM	TO MATCH EXISTING
DET, DTL	DETAIL	LVT	LUXURY VINYL TILE	TYP	TYPICAL
DIA	DIAMETER	MATL	MATERIAL(S)	UNO	UNLESS NOTED OTHERWISE
DM	DIMENSION	MAX	MAXIMUM	VB	VINYL BASE
DR	DOOR	MB	MARKER BOARD	VCT	VINYL COMPOSITE TILE
DS	DOWNSPOUT	MCH	MECHANICAL	VERT	VERTICAL(LY)
DWG	DRAWING(S)	MFR	MANUFACTURE(R)	VIF	VERIFY IN FIELD
DWN	DOWN	MIN	MINIMUM	VIN	VINYL
DWR	DRAWER	MISC	MISCELLANEOUS	VT	VINYL TILE
		MP	MOUNTED	VWC	VINYL WALL COVERING
EA	EACH	MTD	MOUNTED	W	WIDTH
EL	ELEVATION	MTL	METAL	W/	WITH
ELEC	ELECTRICAL	MULL	MULLION	W/O	WITHOUT
ELEV	ELEVATOR	MWK	MILLWORK	WB	WOOD BASE
EOS	EDGE OF SLAB	N	NORTH	WC	WATER CLOSET
EP	EPOXY FLOORING	NIC	NOT IN CONTRACT	WD	WOOD
EQ	EQUAL(LY)	NO, #	NUMBER	WGT	WEIGHT
EQPT	EQUIPMENT	NR	NOISE REDUCTION	WIN	WINDOW
EW	EACH WAY	NRC	NOISE REDUCTION COEFFICIENT	WTW	WALL TO WALL
EWV	ELECTRIC WATER COOLER	NTS	NOT TO SCALE		
EXIST	EXISTING	OC	ON CENTER		
EXP	EXPANSION	OFF	OFFICE		
EXT	EXTERIOR	OH	OPPOSITE HAND		
		OPNG	OPENING		
FAAP	FIRE ALARM ANNUNCIATOR PANEL				
FBO	FURNISHED BY OTHERS				
FE	FIRE EXTINGUISHER				
FEC	FIRE EXTINGUISHER CABINET				
FF	FINISH FLOOR				
FIN	FINISHED				
FLR	FLOOR(ING)				
FLUOR	FLUORESCENT				
FO	FACE OF				
FOB	FACE OF BRICK				
FOG	FACE OF GLASS				

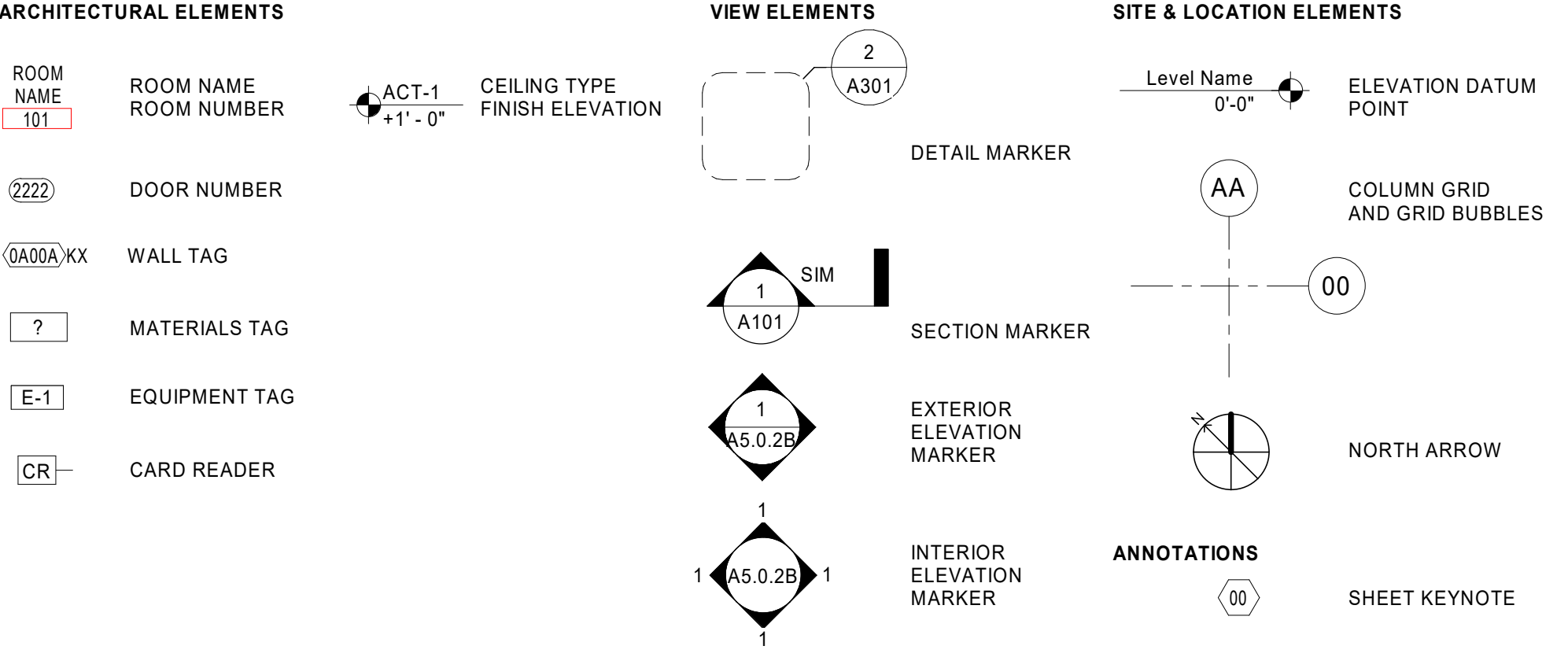
LIST OF DRAWING SHEETS

Sheet Number	Sheet Name	Current Revision	Sheet Number	Sheet Name	Current Revision
00 - COVERSHEET			06 - MECHANICAL		
CS	COVER SHEET		M001	MECHANICAL SYMBOLS, SCHEDULES, NOTES, AND DRAWING INDEX	
01 - GENERAL / LIFE SAFETY			M002	MECHANICAL CONTROLS	
G001	GENERAL INFORMATION AND SHEET INDEX		M003	MECHANICAL DETAILS	
G002	BUILDING CODE SUMMARY		M101	LEVEL 2 FLOOR PLAN - MECHANICAL DUCTWORK-DEMOLITION AND NEW WORK	
G111	LIFE SAFETY PLAN - LEVEL 01		M102	LEVEL 2 FLOOR PLAN - MECHANICAL PIPING-DEMOLITION AND NEW WORK	
04 - ARCHITECTURE			07 - PLUMBING		
AD111	DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN		P101	LEVEL 2 FLOOR PLAN -PLUMBING-DEMOLITION AND NEW WORK	
A111	PARTITION TYPES AND FLOOR PLAN - LEVEL 02		P101A	ALTERNATE No. 3 -- LEVELS 0-2 PLUMBING FLOOR PLANS	
A121	REFLECTED CEILING PLAN - LEVEL 02		08 - FIRE PROTECTION		
A201	INTERIOR ELEVATIONS & MILLWORK DETAILS		FP01	FIRE PROTECTION SYMBOLS, SCHEDULES, NOTES AND DRAWING INDEX	
A900	DOOR SCHEDULE, DOOR TYPES AND FRAME TYPES		FP101	LEVEL 2 FLOOR PLAN -FIRE PROTECTION - DEMOLITION AND NEW WORK	
			011 - ELECTRICAL		
			E001	ELECTRICAL SYMBOLS AND NOTES	
			E002	EXISTING POWER RISER DIAGRAM	
			E003	ELECTRICAL SCHEDULES AND DETAILS	
			E004	LIGHTING FIXTURE SCHEDULE AND DETAILS	
			E111	LEVEL 2 FLOOR PLAN - POWER & SPECIAL SYSTEMS	
			E121	LEVEL 2 FLOOR PLAN - LIGHTING	
			ED111	LEVEL 2 FLOOR PLANS - DEMOLITION	

SHEET NUMBERING LEGEND



SYMBOLS



GENERAL NOTES

- WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
- SEE SHEET A111 FOR PARTITION TYPES.
- SEE SHEET A900 FOR DOOR TYPES AND DETAILS.
- PROVIDE CONTROL JOINTS ON GYP BD. ASSEMBLES PER SPECIFICATIONS AND WHERE SHOWN.
- EXTEND WALLS TO DECK ABOVE STOREFRONT SYSTEMS AND GLASS WALL PARTITIONS.
- OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD WALL CAVITIES.
- WHERE NEW PARTITION ALIGNS WITH THE FACE OF AN EXISTING FURRED COLUMN OR PARTITION, REMOVE CORNER BEAD, TAPE AND SPACKLE NEW PARTITION TO EXISTING GYPSPUM BOARD.
- ALL EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK. PREPARE SURFACES AS REQUIRED.
- PROVIDE RECESSED FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS, AND ALL OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING NUMBER, LOCATION, AND SPECIFICATION OF SUCH DEVICES FOR L&AA REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
- ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
- THE CONTRACTOR SHALL REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS.
- CONTRACTOR SHALL COORDINATE WITH TENANT THE SCHEDULE FOR ALL TELEPHONE COMPANY AND DATA INSTALLATIONS.
- "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
- CONTRACTOR SHALL COORDINATE AND PROVIDE METAL BACKING PLATES OR SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CEILING FOR ALL MILLWORK, WALL AND CEILING ATTACHED ITEMS AS REQUIRED BY EACH SPECIFIC ITEM.
- ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
- DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN BY DESIGN INTENT ARCHITECT SUPERSEDES OTHER PLANS.
- ALL PARTITION TYPES ARE 053B-S, UNLESS OTHERWISE NOTED.
- ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILE, VCT, ETC.
- COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
- PARTITION TYPES ENCLOSING ROOMS AND SPACES SHALL BE CONTINUOUS THROUGHOUT ENTIRE ROOM OR SPACE.
- PROVIDE ACOUSTICAL CALKING AROUND ALL PERIMETER EDGES AND/OR PENETRATIONS AT SOUND INSULATED WALLS. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD CAVITIES.
- WHERE ADJACENT PARTITION TYPES ARE OF DIFFERENT OVERALL THICKNESS, ALIGN FINISHES ON VISIBLE SIDE, AND FURR OPPOSITE SIDE AS REQUIRED FOR A FLUSH INSTALLATION.
- BRACE ALL CHASE WALLS FROM STUD TO STUD AT 4" OC MIN. VERTICAL AND PER MANUFACTURER'S RECOMMENDATION UNLESS NOTED OTHERWISE.
- PROVIDE STEEL STUD GAUGES AND/OR DIAGONAL BRACING AT TOPS OF WALLS PER MANUFACTURER'S RECOMMENDATIONS FOR WALL TYPE, HEIGHT, AND USE BASED ON U240 LIMITING HEIGHTS.
- PROVIDE CONTINUOUS HORIZONTAL BRIDGING FOR WALLS EXTENDING 10'-0" OR GREATER IN HEIGHT FROM FINISH FLOOR.



615 South College Street  
Charlotte, NC 28202  
T: 704.525.9350

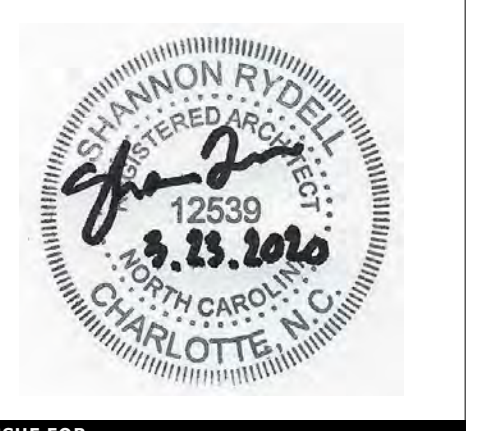
www.littleonline.com

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8801 J.M. Keynes Drive, Ste. 240  
Charlotte, NC 28262  
704.576-7072 (License No. C-0503)



ISSUE FOR BID SET

ISSUE DATE 03/23/20

REVISIONS

NO.	REASON	DATE

PROJECT TEAM

PRINCIPAL IN CHARGE SR

PROJECT MANAGER AS

DESIGN TEAM CE

PROJECT NAME UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A

PROJECT NO. 113-1001-00

SHEET TITLE GENERAL INFORMATION AND SHEET INDEX

SHEET NUMBER G001



2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES) (REPRODUCE THE FOLLOWING DATA ON THE BUILDING PLANS SHEET 1 OR 2)

NAME OF PROJECT: UNCC-SGO RENOVATIONS ADDRESS: 9201 UNIVERSITY CITY BLVD., CHARLOTTE, NC ZIP CODE: 28223

OWNER/AUTHORIZED AGENT: AMANDA CAULDE PHONE NUMBER: (704) 687-0534 E-MAIL: afelock@uncc.edu

OWNED BY: Private City County State Other CODE ENFORCEMENT JURISDICTION: City County State

PRIMARY POINT OF CONTACT:

NAME: SHANNON RYDELL COMPANY: Little Diversified Architectural Consulting PHONE NUMBER: (704) 561-3205 EMAIL: shannon.rydell@littleonline.com

Architect of Record:

NAME: SHANNON RYDELL LICENSE NUMBER: 12539 COMPANY: Little Diversified Architectural Consulting PHONE NUMBER: (704) 561-3205 EMAIL: shannon.rydell@littleonline.com

Civil Engineer of Record:

NAME: SHANNON RYDELL LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

Electrical Engineer of Record:

NAME: GAIL ENGLISH CRAIG LICENSE NUMBER: 18459 COMPANY: McCracken & Lopez PHONE NUMBER: (704) 376-7072 EMAIL: johnt@mccrackenlopez.com

Fire Protection Engineer of Record:

NAME: JAMES CURRIE LICENSE NUMBER: 31478 COMPANY: McCracken & Lopez PHONE NUMBER: (704) 376-7072 EMAIL: jamesC@mccrackenlopez.com

Plumbing Engineer of Record:

NAME: JAMES CURRIE LICENSE NUMBER: 31478 COMPANY: McCracken & Lopez PHONE NUMBER: (704) 376-7072 EMAIL: jamesC@mccrackenlopez.com

Mechanical Engineer of Record:

NAME: JAMES CURRIE LICENSE NUMBER: 31478 COMPANY: McCracken & Lopez PHONE NUMBER: (704) 376-7072 EMAIL: jamesC@mccrackenlopez.com

Fire Suppression & Sprinkler Standpipe Engineer of Record:

NAME: LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

Structural Engineer of Record:

NAME: LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

Retaining Walls (> 5'-0" high) Engineer of Record:

NAME: LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

Landscape Architect Designer of Record:

NAME: LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

Building Animal Containment Architect Designer of Record:

NAME: LICENSE NUMBER: COMPANY: PHONE NUMBER: EMAIL:

2018 NC Building Code: N/A New Building Addition 1st Time Interior Completion Renovation Shell & Core\* Phased Construction - Shell & Core\*

2018 NC Existing Building Code: N/A Prescriptive Repair Chapter 14 Alteration Level 1 Alteration Level 2 Alteration Level 3 Historic Property Change of Use

Constructed: (date) 2010 Current Occupancy(s): (Ch. 3) A-2 Renovated: (date) N/A Proposed Occupancy(s): (Ch. 3) A-2 (RENOVATED AREA IS 'B')

BASIC BUILDING DATA

Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B

Sprinklers: N/A Yes No Partial NFPA 13 NFPA 13R NFPA 13D

Standpipes: N/A Class I - Wet Class I - Dry Class II - Wet Class II - Dry Class III - Wet Class III - Dry

Primary Fire District: Yes No

Flood Hazard Area: Yes No

Special Inspections Required: Yes No

Gross Building Area Table

Table with columns: Floor, Existing Building Area, Renovated Area, Sub-Total. Rows include Lower Level, First Floor, Mezzanine, Second Floor, Third Floor, Upper Mezzanine, and various levels.

Table with columns: Fire Separation Distance (ft) from Property Line, Degree of Openings Protection (Table 705.8), Allowable Area (%), Actual Shown on Plan (%). Rows include Northern, Eastern, Southern, and Western Elevation.

Allowable Area Classification & Uses

Table with columns: Assembly, Business, Hazardous, Institutional, Mercantile, Storage, Utility & Misc. Rows include A-1 through A-5, B, H-1 through H-6, I-1 through I-4, M, S-1 through S-2, R-1 through R-4, U.

Accessory Occupancy Classification(s): BUSINESS/MERCANTILE

Incidental Uses (Table 509):

Special Uses (Chapter 4 - List Code Sections):

Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy? No Separation: N/A Exception: 303.1 Yes, Non-Separated Use (Section 508.3) 1 Hour 2 Hour 3 Hour 4 Hour Yes, Separated Use (Section 508.4)

NOT APPLICABLE

NOT USED

Table with columns: Occupancy Type, Actual Area (ft²), Allowable Area (ft²), [Actual Area]-[Allowable Area]

Table with columns: Story #, Description & Use, (A) Building Area per Story [Actual], (B) Table 506.2 Area, (C) Area for Frontage Increase¹,², (D) Allowable Area per Story or Unlimited³

¹ Frontage area increases from Section 506.2 are computed below: a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F); b. Total Building Perimeter = (P); c. Ratio = (F/P); d. Minimum width of public way = (W); e. Percent of frontage increase I = 100[(F/P) - 0.25] x W/30

Table with columns: Allowable Height, Allowable, Shown on Plans, Code References. Rows include Building Height in Feet (Table 504.3) and Building Height in Stories (Table 504.4).

¹ Provide code reference if the "Shown on Plans" quantity is not based on Table 504.3 or 504.4.

Table with columns: Building Element, Fire Separation Distance (feet), Rating, Required, Provided (w/ Section ## "reduction")\*, Detail # & Sheet #, Design # for Rated Assembly, Sheet # for Rated Penetration, Design # for Rated Joints

Table with columns: Exterior, North, East, West, South, Interior Bearing Walls. Rows include Bearing Walls and Nonbearing Walls & Partitions.

Table with columns: Exterior, North, East, West, South, Interior Walls & Partitions. Rows include Nonbearing Walls & Partitions.

Table with columns: Floor Construction (including supporting beams & joists), Floor Ceiling Assembly, Columns Supporting Floors, Roof Construction (including supporting beams & joists), Roof Ceiling Assembly, Columns Supporting Roof.

Table with columns: Shaft Enclosures - Exit, Shaft Enclosures - Other, Corridor Separation, Occupancy/Fire Barrier Separation, Party/Fire Wall Separation, Smoke Barrier Separation, Smoke Partition, Tenant/Dwelling Unit/Sleeping Unit Separation, Incidental Use Separation.

Table with columns: Life Safety System Requirements, Emergency Lighting, Exit Signs, Fire Alarm, Smoke Detection System, Carbon Monoxide Detection.

Life Safety Plan Requirements G111 (EXISTING NUMBER OF EXITS AND EXIT WIDTHS ARE IN ACCORDANCE WITH THE 2018 NCSCS EXISTING BUILDING CODE FOR ALTERATIONS 2 SECTION 805) Fire and/or smoke rated wall locations (Chapter 7) Assumed and real property line locations (if not on the site plan) Exterior wall opening area with respect to distance to assumed property lines (705.3) Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2) Occupant loads for each area Exit access travel distances (1017) Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1)) Dead end lengths (1020.4) Clear exit widths for each exit door\* Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)

Table with columns: Accessible Dwelling Units (Section 1107), Total Units, Accessible Units Required, Accessible Units Provided, Type "A" Units Required, Type "A" Units Provided, Type "B" Units Provided, Total Accessible Units Provided

Table with columns: Accessible Parking (Section 1108), Lot or Parking Area, Total # of Parking Spaces, Number of Accessible Spaces Provided, Total Number Accessible Spaces Provided

Table with columns: Plumbing Fixture Requirements (Table 2902.1), Use, Space, Water Closets, Lavatories, Drinking Fountains

SPECIAL APPROVALS Special approvals: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHS, etc.) Described Below: N/A

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ENERGY SUMMARY

ENERGY REQUIREMENTS: The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: Yes No Not Applicable EXEMPT BUILDING: Yes No Not Applicable

Climate Zone: 3A METHOD OF COMPLIANCE: No Change to Existing Systems Prescriptive (ASHRAE 90.1-2013) Prescriptive (NCECC 2018) Performance (ASHRAE 90.1-2013) Performance (NCECC 2018) Other

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS THERMAL ENVELOPE:

Table with columns: Roof/Ceiling Assemblies, Mark/Tag, Description, Assembly Total U-Value, R-Value of Insulation, Skylights in Assembly, Skylight Area in Assembly

Table with columns: Skylight Assemblies, Mark/Tag, Assembly U-Value, SHGC, R-Value of Insulation

Table with columns: Exterior Wall Assemblies, Mark/Tag, Description, Assembly Total U-Value, R-Value of Insulation

Table with columns: Openings (Windows/Doors with Glazing): SPECIALTY GLAZING, Mark/Tag, Assembly U-Value, SHGC, Projection Factor, Door R-Value

Table with columns: Walls Below Grade, Mark/Tag, Description, Assembly Total U-Value, R-Value of Insulation

Table with columns: Floors Over Unconditioned Space, Mark/Tag, Description, Assembly Total U-Value, R-Value of Insulation

Table with columns: Floors Slab-on-Grade, Mark/Tag, Description, Assembly Total U-Value, R-Value of Insulation, Horizontal/Vertical Req., Slab Heated?

EXISTING BUILDING ENVELOPE

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS STRUCTURAL DESIGN

DESIGN LOADS: IMPORTANCE FACTORS: WIND (lw), SNOW (ls), SEISMIC (Ie); GROUND SNOW LOAD: WIND (w); LIVE LOADS: ROOF, MEZZANINE, FLOOR; SEISMIC DESIGN CATEGORY RISK CATEGORY (TABLE 6.5.1) SPECTRAL RESPONSE; SITE CLASSIFICATION; BASIC STRENGTH; LATERAL DEFORMATION; SOIL BEARING CAPACITIES; SOIL BEARING LOAD; Pile Size, Type, & Capacity

NO CHANGE TO EXISTING BUILDING

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS MECHANICAL DESIGN & SUMMARY

Mechanical Systems, Service Systems and Equipment

METHOD OF COMPLIANCE: No Change to Existing Systems Prescriptive Performance Energy Cost Budget Weather Station: TMY Thermal Zone: 3A Exterior Design Conditions: summer dry bulb: 95°F winter dry bulb: 10°F summer wet bulb: 75°F Interior Design Conditions: summer dry bulb: 75°F winter dry bulb: 70°F relative humidity: 50% Building Cooling Load: 345.1 MBH (SPACE ONLY) Building Heating Load: 286.1 MBH (SPACE ONLY)

Mechanical Spacing Conditioning System: Unitary: EXISTING AHU WITH VAV BOXES description of unit: N/A cooling output: 379.6 MBH cooling efficiency: N/A heating output: 424.0 MBH heating efficiency: N/A Chiller: N/A Chiller output: Oversizing reason: Boiler: N/A Boiler output: Oversizing reason:

List equipment efficiencies: Cooling Efficiency: Heating Efficiency: Mechanical system motors: Motor horsepower: N/A Number of phases: Minimum efficiency: Motor type: Number of poles:

EXISTING MECHANICAL SYSTEM

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS ELECTRICAL DESIGN & SUMMARY

Electrical Systems and Equipment

METHOD OF COMPLIANCE: No Change to Existing Systems Prescriptive (NCECC 2018) Performance (NCECC 2018) Prescriptive (ASHRAE 90.1-2013) Performance (ASHRAE 90.1-2013) Lighting Schedule: Fixture Type: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004 Lamp Type Required: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004 Number of Lamps: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004 Ballast Type Used: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004 Number of Ballasts: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004 Total Watts / Fixture: REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004

Allowable Lighting Power: Whole Building Method Space by Space Method INTERIOR LIGHTING: Allowed Lighting Power: 8448 W Designed Lighting Power: 8122 W Difference: 3224 W EXTERIOR LIGHTING: Allowed Lighting Power: Designed Lighting Power: Difference: NO CHANGE TO EXISTING EXTERIOR LIGHTING

Additional Efficiency Package Options: FOR 2018 NCECC COMPLIANCE PATHS, NOT REQUIRED FOR ASHRAE 90.1 COMPLIANCE PATHS. C406.2 More Efficient HVAC Equipment Performance C406.3 Reduced Lighting Power Density C406.4 Enhanced Digital Lighting Controls C406.5 On-Site Renewable Energy C406.6 Dedicated Outside Air System C406.7 Reduced Energy Use in Service Water Heating Not Applicable



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McCracken & Lopez, P.A. Consulting Engineers



ISSUE FOR BID SET

ISSUE DATE 03/23/20

Table with columns: REVISIONS, NO., REASON, DATE

PROJECT TEAM PRINCIPAL IN CHARGE SR PROJECT MANAGER AS DESIGN TEAM CE PROJECT NAME UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A PROJECT NO. 113-1001-00 SHEET TITLE BUILDING CODE SUMMARY

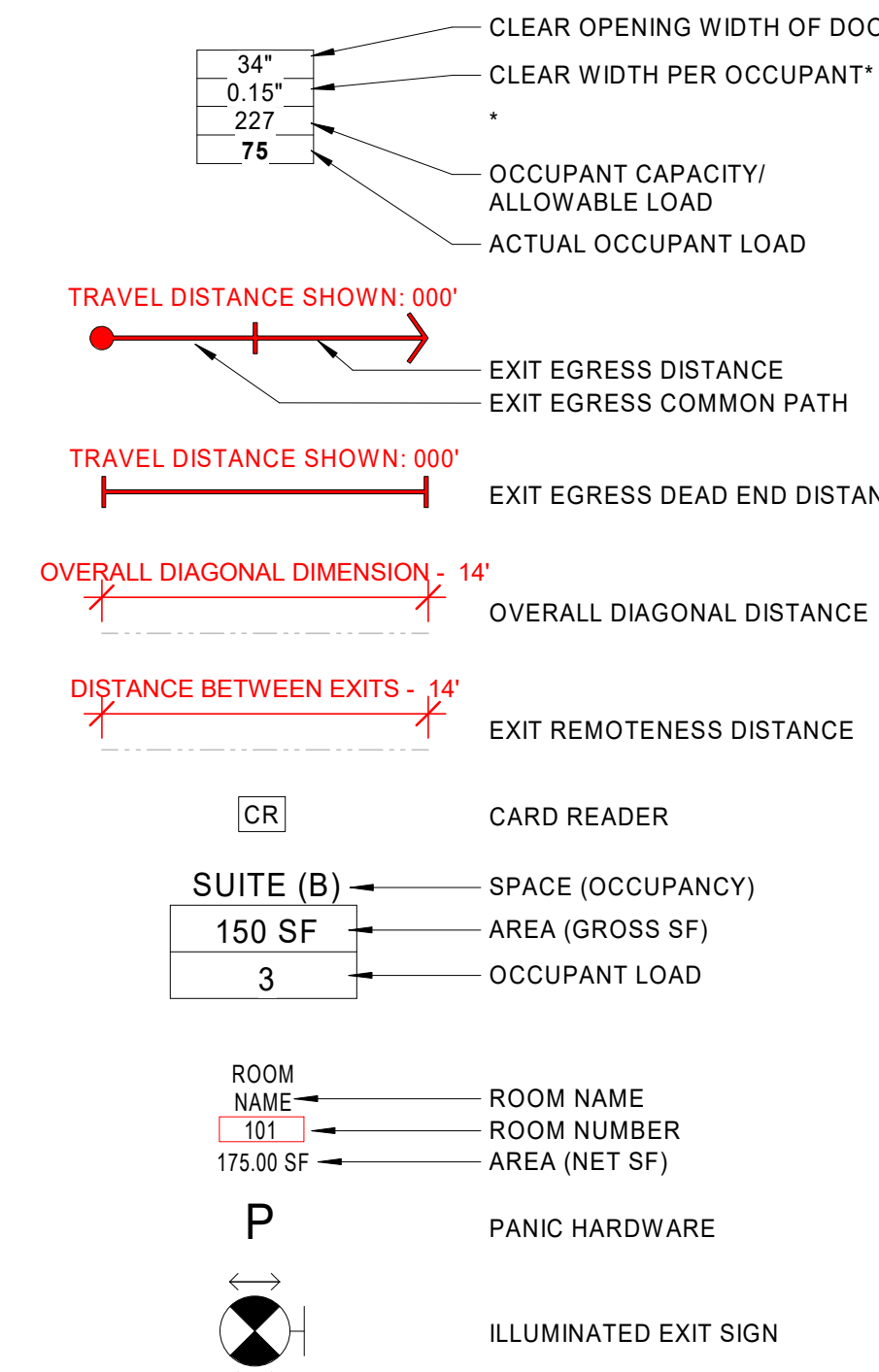
SHEET NUMBER G002



GENERAL NOTES

- 1. SEE A010 FOR PARTITION TYPES.
2. SEE A010 FOR TYPICAL PARTITION DETAILS.
3. SEE A800 FOR DOOR HEAD AND JAMB DETAILS.

SYMBOLS - LIFE SAFETY



EXISTING RATED WALLS & PARTITIONS



AREA/OCCUPANCY SCHEDULE - AREA OF WORK (EXISTING)

Table with 5 columns: AREA, Level, Occupancy, (GROSS SF) Area, Existing Occupant Load. Lists rooms like CONFERENCE, WORKROOM, LEADERSHIP CENTER, etc.

AREA/OCCUPANCY SCHEDULE - AREA OF WORK (PROPOSED)

Table with 5 columns: AREA, Level, Occupancy, (GROSS SF) Area, Occupant Load. Lists rooms like CAB SUITE (B), BSU OFFICE (B), COLLAB (B), etc.

THERE IS NO OCCUPANCY INCREASE FOR THE 'AREA OF WORK'. THERE WILL BE NO INCREASE ON THE OCCUPANCY LOADS FOR THE EXISTING PLUMBING COUNTS AND THE EGRESS WIDTHS.

EGRESS CAPACITY FOR NCSBC 2018 ALTERATIONS LEVEL 2

805.2.1 Means of egress capacity. The capacity of the means of egress in each work area shall be sufficient for the maximum permitted occupant load of the work area and any adjacent spaces served by that means of egress as calculated on a per floor basis.

TABLE 805.2.1.1 CAPACITY PER UNIT OF EGRESS WIDTH

Table showing capacity per unit of egress width for different use groups (A, B, E, F, H, L, M, R, S) under conditions of fire suppression and without fire suppression.

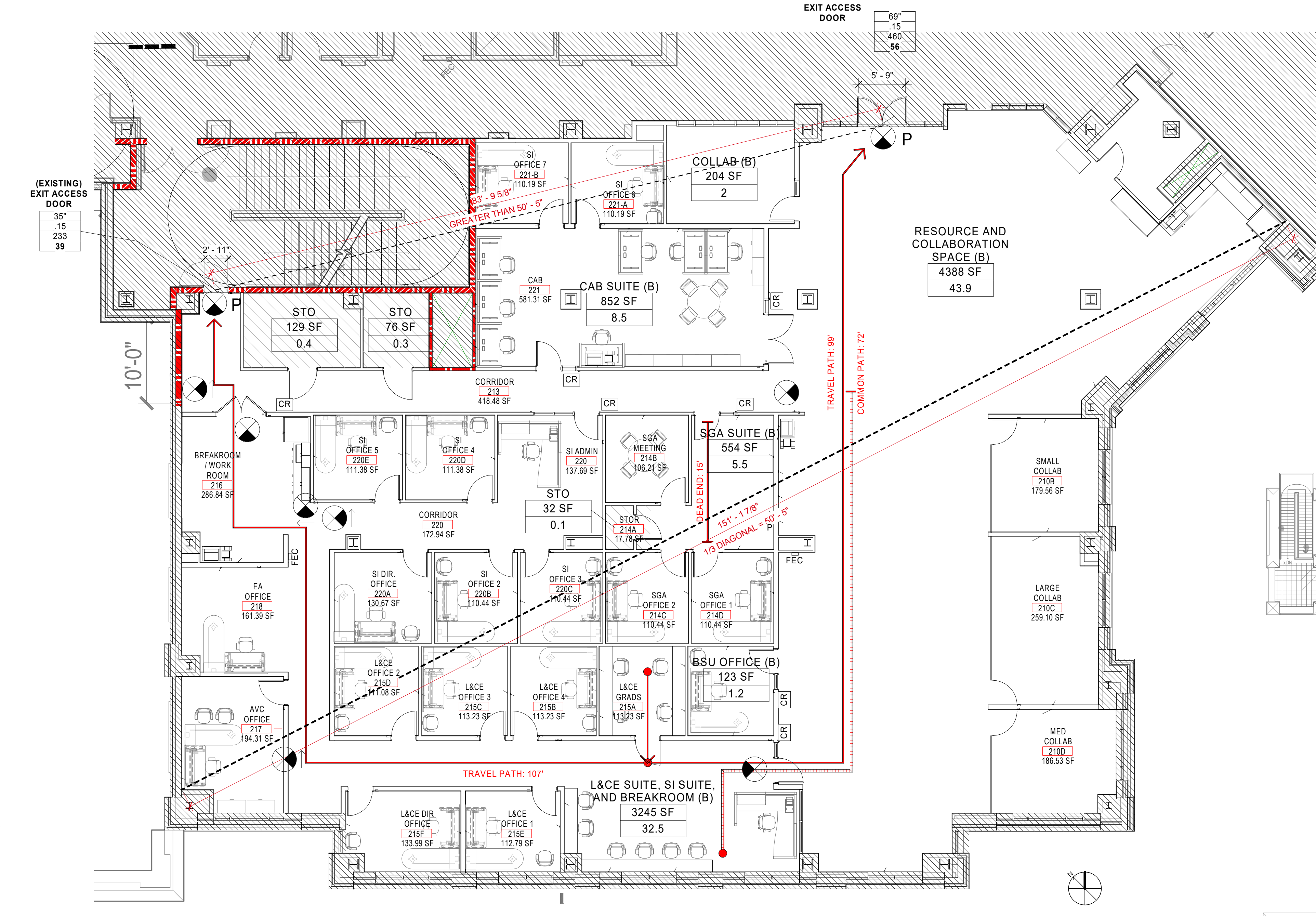
Unit of egress width = 22 inches. NA = Not Allowed. a. The occupant load may be equal to the total number of occupants for which exit capacity is provided as determined by Table 805.2.1.

OCCUPANCY/PLUMBING TOTALS FOR EXISTING BUILDING\*\*

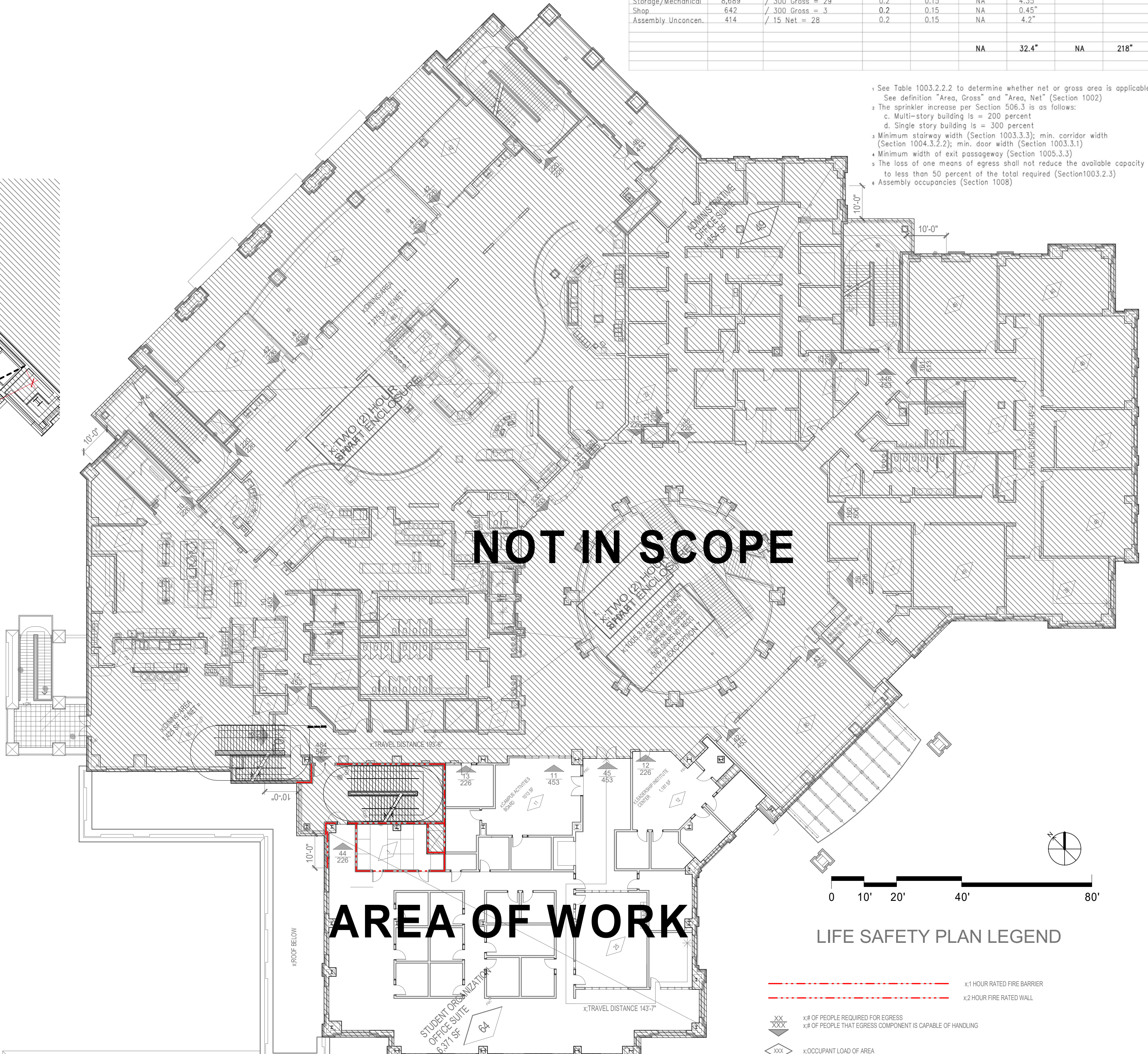
Two tables: 'Table 403.1 - Minimum Number of Plumbing Facilities' and 'TOTAL FIXTURE COUNT' showing plumbing fixture counts for various building types.

AREA/OCCUPANCY/EGRESS WIDTHS FOR EXISTING BUILDING\*\*

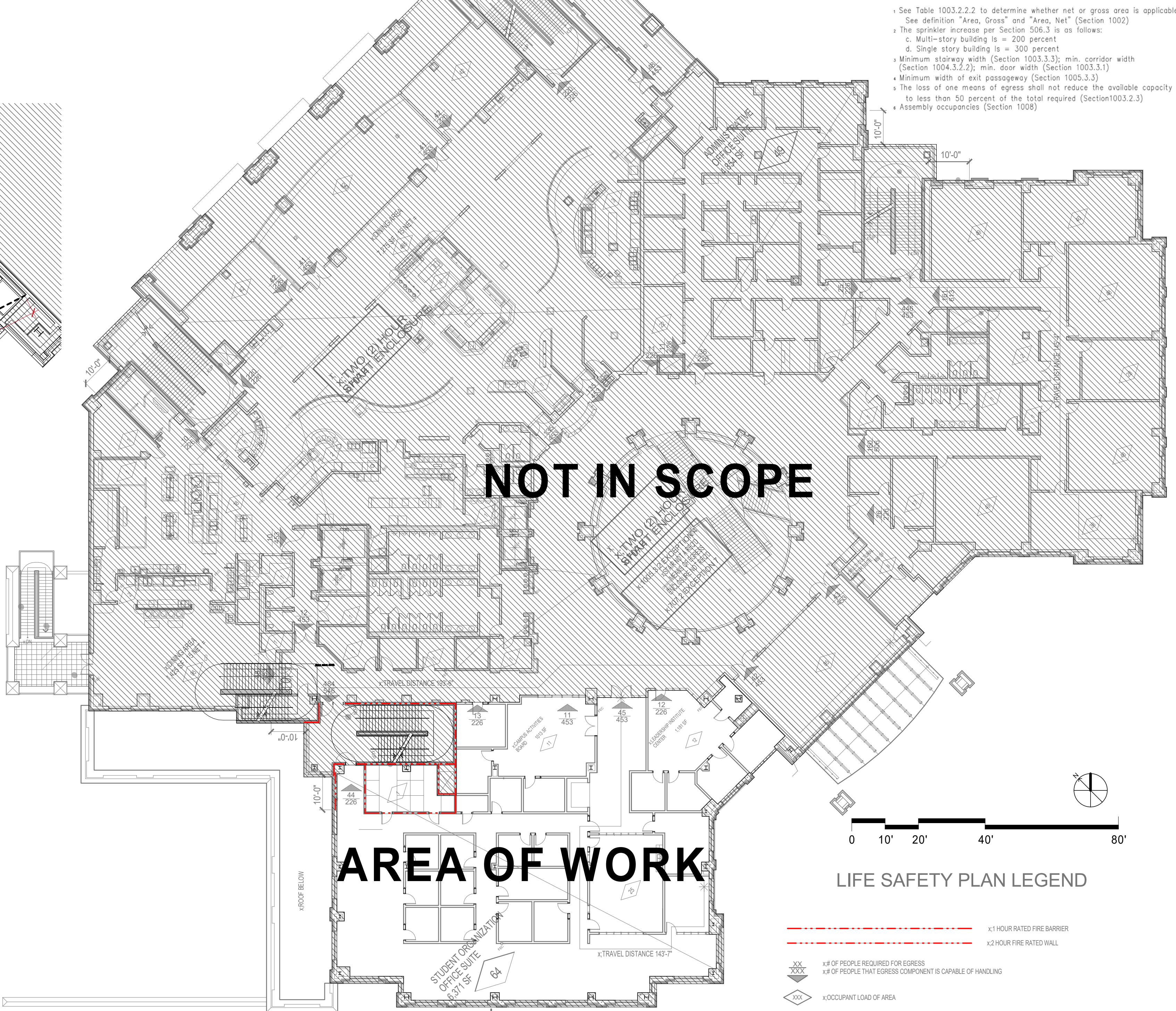
Table showing area, occupancy, and egress widths for existing building areas across multiple levels (Third Floor, Second Floor, Mezzanine, Lower Level, First Floor).



3 LEVEL 2 LIFE SAFETY G111 1/8" = 1'-0"



2 LEVEL 2 LIFE SAFETY EXISTING G111 1" = 20'-0"



LITTLE OVERSEAS ARCHITECTURAL CONSULTING logo and contact information including address, phone, and website.

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UNC CHARLOTTE logo.

Professional Engineer stamps for Little Overseas Architectural Consulting, Inc. and J. Cannon Ryall, dated 03/23/20.

Project information block including Project Name (UNCC-SGO RENOVATIONS), Project No. (113-1001-00), Issue Date (03/23/20), and Sheet Title (LIFE SAFETY PLAN - LEVEL 01).

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**DEMOLITION LEGEND**

DEMOLITION SYMBOLS LEGEND			
	EXISTING PARTITION TO REMAIN		EXISTING DOOR TO REMAIN
	EXISTING PARTITION TO BE DEMOLISHED		EXISTING DOOR TO BE DEMOLISHED
	EXISTING CASEWORK OR OTHER ITEM TO BE DEMOLISHED		NO WORK TO BE PERFORMED
	EXISTING CEILING TO BE DEMOLISHED		

SEE MEP/FP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

**ARCHITECTURAL DEMOLITION NOTES**

- IT IS THE INTENT OF THIS DOCUMENT TO UTILIZE THE REUSE OF BUILDING STANDARDS, SUCH AS, BUT NOT LIMITED TO, DOORS AND SIGNAGE AND CORNER GUARDS WHERE POSSIBLE. ALL SUCH BUILDING MATERIALS REMOVED DURING THIS PROJECT SHALL BE INVENTORIED AND NEATLY STORED ON SITE FOR REUSE. ALL SURPLUS FIXTURES AND MATERIAL ITEMS REMOVED DURING DEMOLITION BUT NOT REUSED DURING THIS PROJECT SHALL BE STORED FOR LATER USE. CONTRACTORS SHALL COORDINATE THE SEQUENCE FOR DEMOLITION AND THE LOCATION OF ON SITE STORAGE AREAS FOR EXISTING ITEMS TO BE REUSED, AND PROVIDE THE BUILDING WITH COPIES OF DEMOLITION INVENTORY.
- REMOVE ALL CONSTRUCTION SHOWN ON THE DRAWINGS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOORING, PARTITIONS, INCLUDING ELEMENTS OCCURRING ABOVE THE FINISHED CEILING(S), HANGERS, STRAPS AND OTHER ACCESSORY OBJECTS CONNECTED WITH THE ITEMS BEING REMOVED.
- THE CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS CALLED FOR IN CONTRACT OR AS REQUIRED TO CLEAR THE AREAS FOR NEW CONSTRUCTION.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVAL FOR FINAL DISPOSITION.
- CONTRACTOR TO USE CARE WHEN REMOVING DRYWALL, AS NOT TO DISTURB EXISTING FIREPROOFING AROUND EXISTING COLUMNS.
- WORK DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND PATCHED OR REPAIRED SHOULD DAMAGE OCCUR.
- WHERE EXISTING EQUIPMENT IS TO BE RELOCATED, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE REMOVAL WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL CONSULT OTHER TRADES PRIOR TO COMMENCING THIS WORK, TO AVOID CONFLICT.
- DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHOW INTENT OF WORK TO BE DONE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR REQUIRED AND COST FOR REMOVAL OF ALL SYSTEMS CALLED FOR IN CONTRACT.
- ALL EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PATCH AND REPAIR ALL AREAS AFFECTED BY THE DEMOLITION.
- FOR MECHANICAL AND ELECTRICAL DEMOLITION NOTES, REFER TO MECHANICAL AND ELECTRICAL PLANS.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL HVAC OR ELECTRICAL DEMOLITION REQUIRED.
- ON REMAINING WALLS ADJACENT TO THOSE BEING DEMOLISHED, EXISTING BASE SHALL BE REMOVED BACK TO NEAREST INSIDE CORNER AND WALLS SHALL BE REPAIRED SO AS TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW BASE.

**MEP DEMOLITION NOTES**

- THE CONTRACTOR SHALL REMOVE ALL EXISTING WIRE NOT BEING USED ABOVE LAY-IN CEILING(S). CONDUIT BEING ABANDONED SHALL BE REMOVED COMPLETELY BACK TO THE SOURCE. ALL EXISTING CIRCUITS NOT BEING USED SHALL BE MARKED AS SPARE CIRCUITS IN THE DESIGNATED PANEL.
- ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVAL FOR FINAL DISPOSITION.
- WHERE EXISTING EQUIPMENT IS TO BE RELOCATED, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE REMOVAL WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- EXCEPT AS OTHERWISE NOTED, ALL EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT, SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER ELECTRICAL WORK OR MATERIAL RENDERED OBSOLETE SHALL BE REMOVED OR ABANDONED WHERE APPROPRIATE. CONCEALED AND REMOVED WHERE EXPOSED. OLD, UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED (CONCEALED) CONDUITS. OUTLETS SHALL BE PROVIDED WITH BLANK COVERS.
- WHERE EXISTING FIXTURES, WIRING DEVICES, AND ELECTRICAL EQUIPMENT ARE REMOVED, RECONNECT CIRCUITING AS REQUIRED TO MAINTAIN CONTINUITY TO OUTLETS REMAINING ON THE CIRCUIT WITHIN OCCUPIED SPACES.
- WHERE REQUIRED BY NEW CONSTRUCTION, PROVIDE EXTENSION RINGS, COVERPLATES, OR ACCESS PLATES AS REQUIRED TO MAINTAIN ACCESS TO EXISTING WIRING.
- FIELD VERIFY LOCATIONS OF EXISTING OUTLETS. WHERE NEW CONSTRUCTION CONFLICTS WITH EXISTING OUTLETS, REMOVE WIRING DEVICES OR RELOCATE FIXTURES AS REQUIRED, WHETHER OR NOT SPECIFICALLY INDICATED.
- WHERE EXISTING WIRING DEVICES ARE REMOVED AND JUNCTION BOXES ARE NOT REUSED, PROVIDE BLANK COVERPLATES.
- WHERE EXISTING CIRCUITS ARE EXTENDED TO SERVE NEW OR RELOCATED DEVICES OR FIXTURES, PROVIDE TYPE AND SIZE OF CONDUCTORS TO MATCH EXISTING.
- EXISTING CIRCUITRY SHALL BE FIELD VERIFIED AND ADJUSTMENTS SHALL BE MADE, AS REQUIRED BY FIELD CONDITIONS.
- WHERE EXISTING ELECTRICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONTINUED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW ELECTRICAL WORK.
- FEEDERS AND BRANCH CONDUIT SYSTEMS ENTERING AND LEAVING AREAS TO BE REMODELED WHICH SERVICE OTHER ACTIVE AREAS SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO MAINTAIN CONTINUITY OF THESE SYSTEMS.
- CONTRACTOR SHALL CONSULT OTHER TRADES PRIOR TO COMMENCING THIS WORK, TO AVOID CONFLICT.
- DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHOW INTENT OF WORK TO BE DONE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR REQUIRED AND COST FOR REMOVAL OF ALL SYSTEMS CALLED FOR IN CONTRACT.
- ALL EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL SUBMIT A TYPE WRITTEN INVENTORY OF MAJOR ELECTRICAL EQUIPMENT TO BE REMOVED IN DEMOLITION PHASE. INVENTORY SHALL DESCRIBE ITEM AND QUANTITY. AFTER OWNER HAS DECIDED WHICH EQUIPMENT TO RETAIN, CONTRACTOR SHALL REMOVE, COMPLETE FROM THE PROJECT SITE, ALL OTHER REMAINING ELECTRICAL EQUIPMENT INCLUDING ALL ITEMS NOT LISTED IN INVENTORY THAT ARE TO BE REMOVED IN DEMOLITION PHASE.
- REMOVE ALL EXISTING FIXTURES, WIRING DEVICES, ELECTRICAL EQUIPMENT AND CIRCUITING WHETHER SPECIFICALLY INDICATED OR NOT, AS REQUIRED BY THE ARCHITECTURAL DEMOLITION WORK IN THE AREA TO BE RENOVATED.
- CONTRACTOR TO PATCH AND REPAIR ALL AREAS AFFECTED BY THE DEMOLITION.
- FOR MECHANICAL DEMOLITION NOTES, REFER TO MECHANICAL PLANS.
- FIXTURES SHALL BE CLEANED THOROUGHLY AND RELAMPED BEFORE TURNING THEM OVER TO OWNER.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL HVAC OR ELECTRICAL DEMOLITION REQUIRED.
- IT IS THE INTENT OF THIS DOCUMENT TO UTILIZE THE REUSE OF BUILDING STANDARDS, SUCH AS, BUT NOT LIMITED TO, ELECTRICAL OUTLET BOXES, DIFFUSERS, SPEAKERS, EXIT SIGNS, FIRE ALARM DEVICES, CARD READERS, CAMERAS AND LIGHTING FIXTURES WHERE POSSIBLE. ALL SUCH BUILDING MATERIALS REMOVED DURING DEMOLITION SHALL BE INVENTORIED AND NEATLY STORED ON SITE FOR REUSE. ALL SURPLUS FIXTURES AND MATERIAL ITEMS REMOVED DURING DEMOLITION BUT NOT REUSED DURING THIS PROJECT SHALL BE STORED FOR LATER USE. CONTRACTORS SHALL COORDINATE THE SEQUENCE FOR DEMOLITION AND THE LOCATION OF ON SITE STORAGE AREAS FOR EXISTING ITEMS TO BE REUSED, AND PROVIDE THE BUILDING WITH COPIES OF DEMOLITION INVENTORY.



ISSUE FOR BID SET

ISSUE DATE 03/23/20

REVISIONS NO. REASON DATE

PROJECT TEAM

PRINCIPAL IN CHARGE SR

PROJECT MANAGER AS

DESIGN TEAM CE

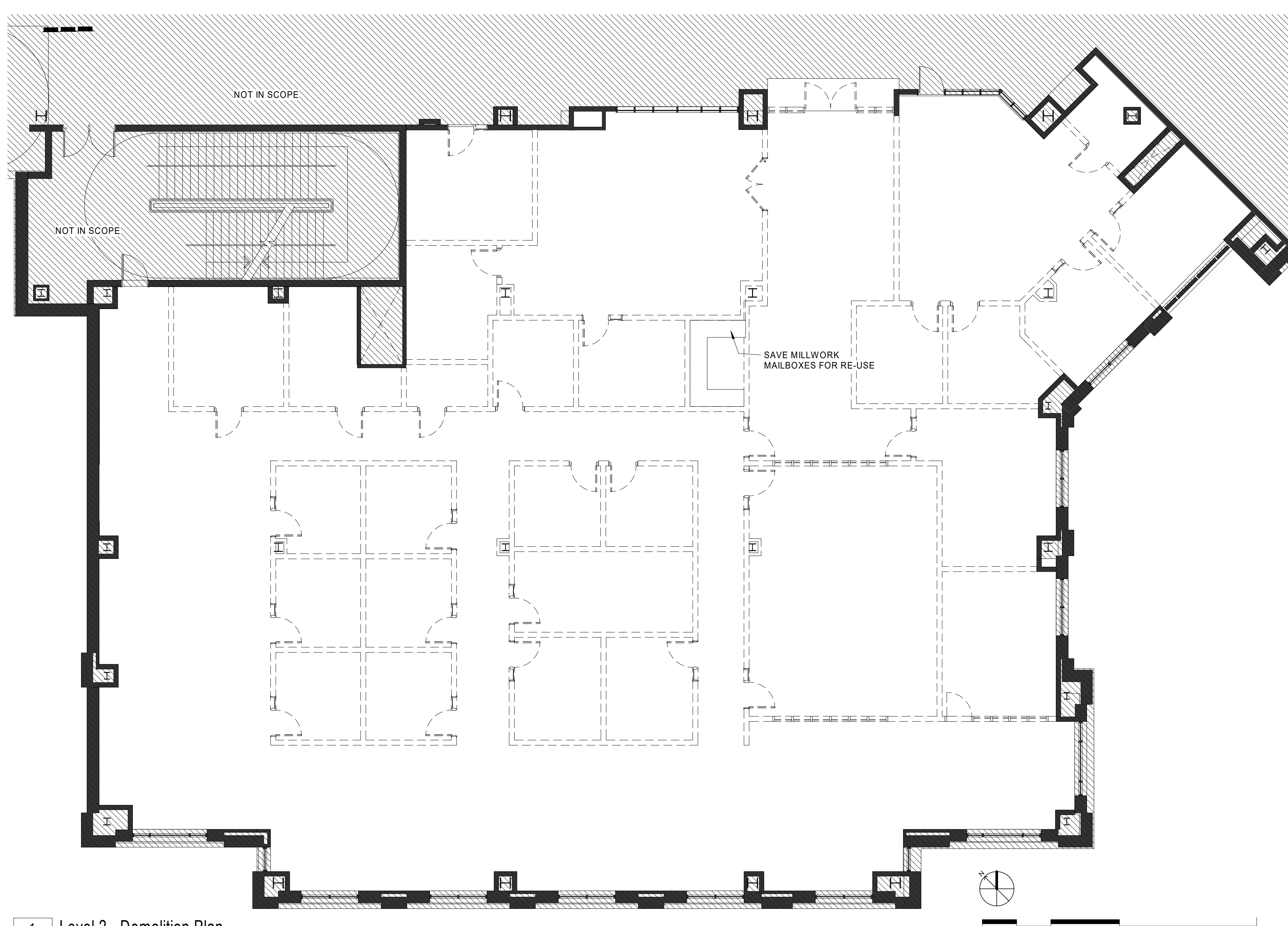
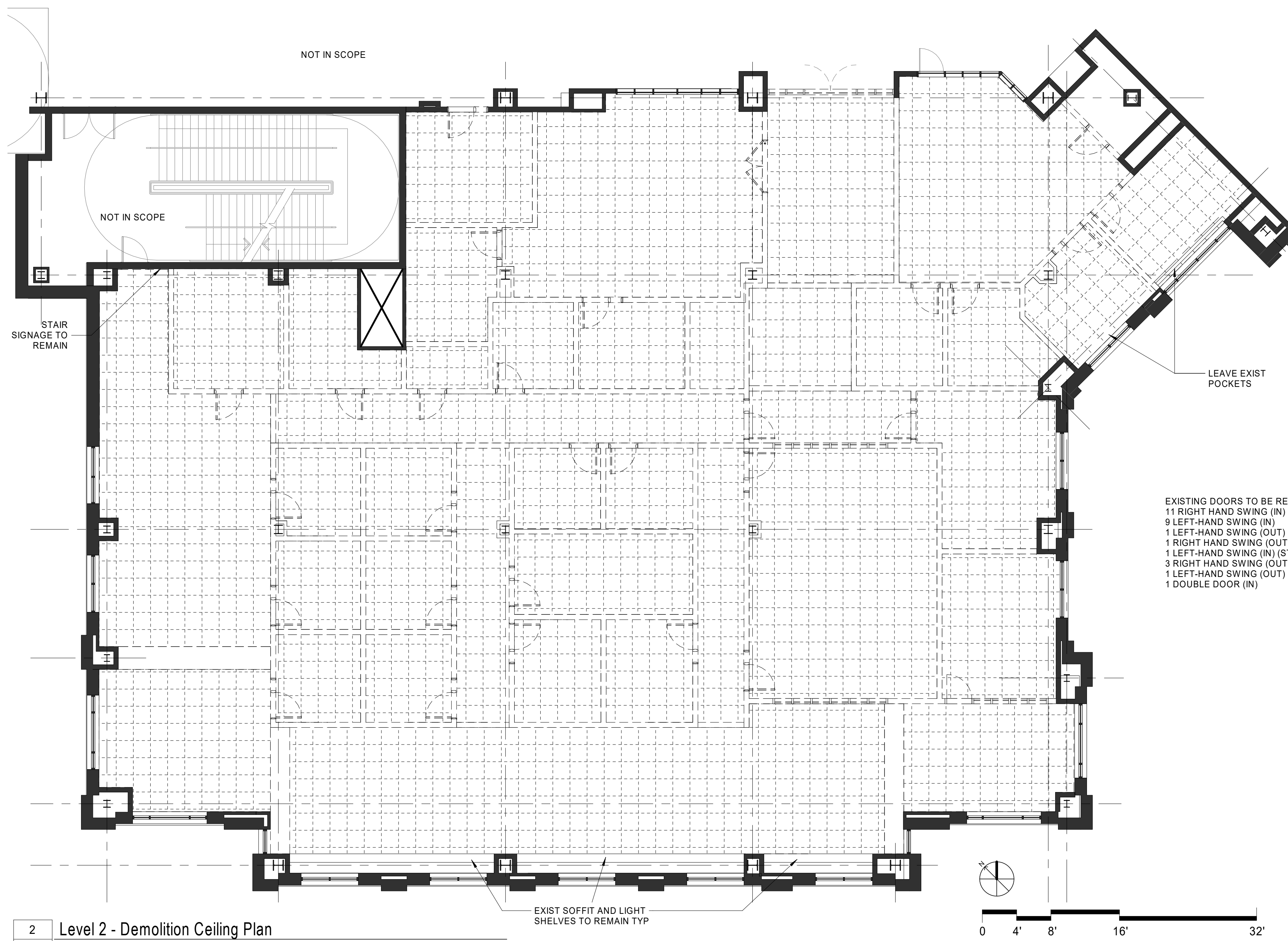
PROJECT NAME UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A

PROJECT NO. 113-1001-00

SHEET TITLE DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN

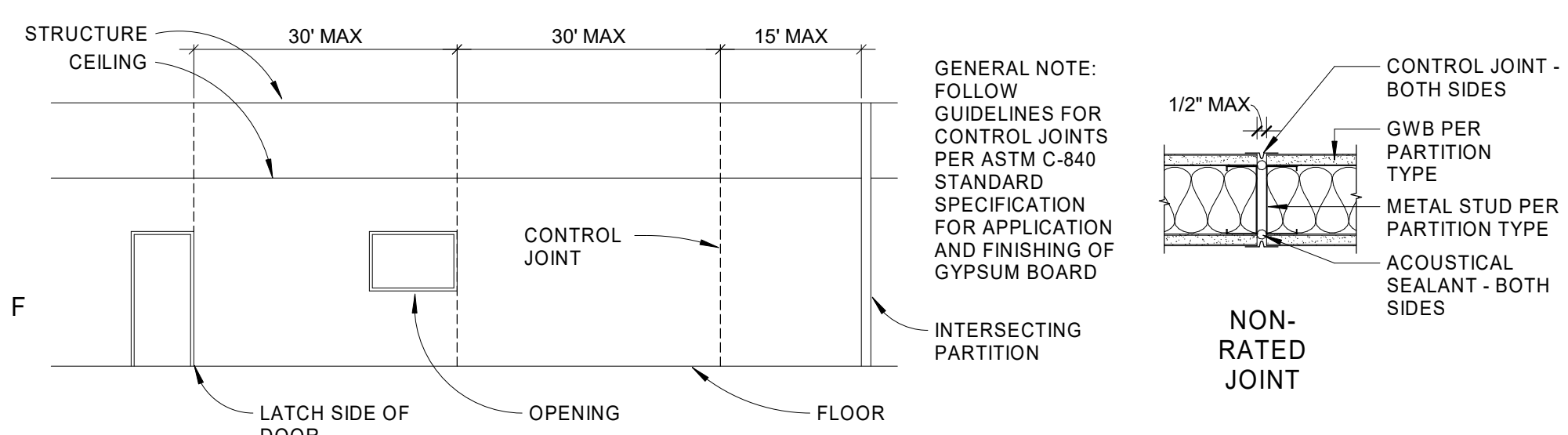
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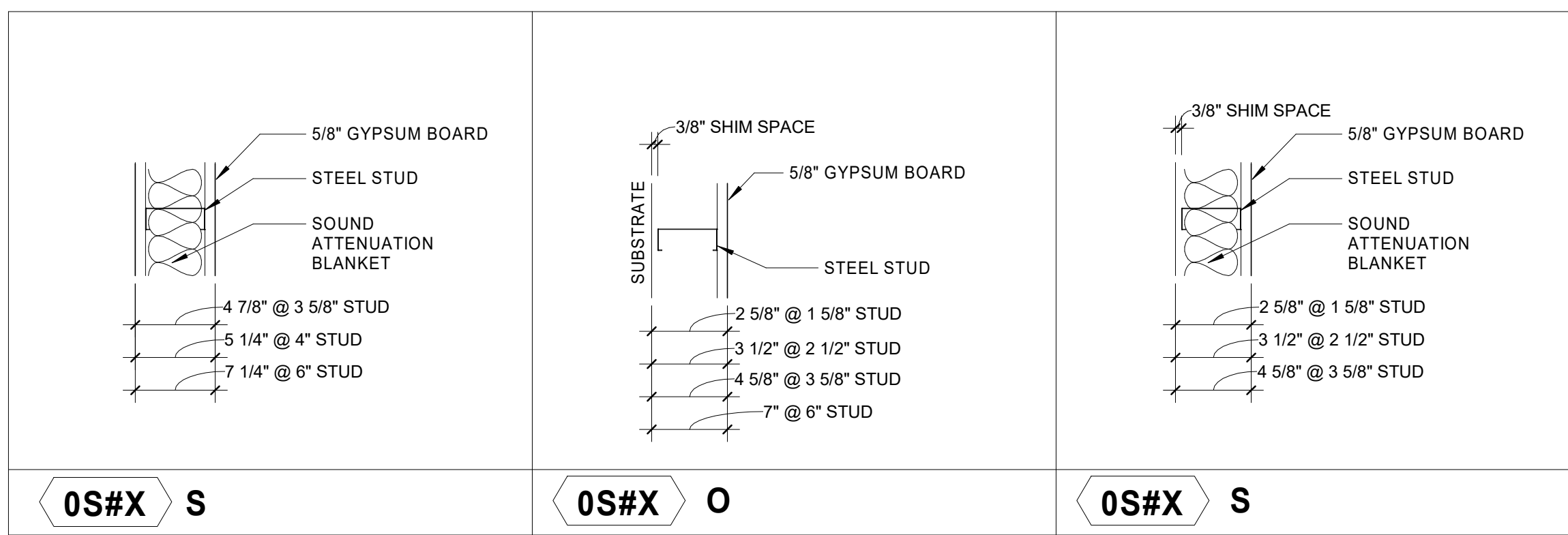
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**GWB CONTROL JOINTS**



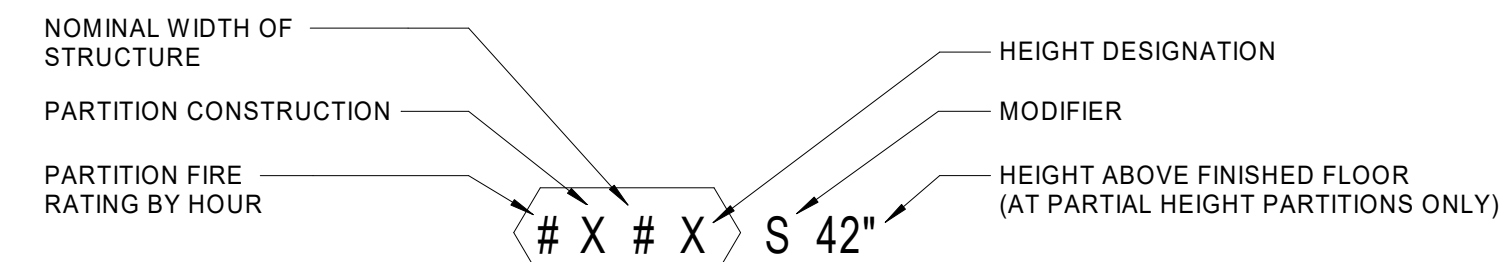
**PARTITION TYPE GENERAL NOTES**



**PARTITION TYPE GENERAL NOTES**

1. PLAN DIMENSIONS ARE TO FACE OF PARTITION ASSEMBLY UNLESS OTHERWISE NOTED.
2. ALL METAL STUD PARTITIONS TO HAVE STUDS SPACED @ 16" O.C. UNLESS OTHERWISE NOTED.
3. STEEL STUD GAGE TO BE DESIGNED AS RECD IN ORDER TO MEET DEFLECTION CRITERIA (AS LISTED IN SPECIFICATIONS) AND ANY ADDITIONAL LOAD INCURRED DUE TO WALL MOUNTED FIXTURES, GRAB BARS, ETC.
4. REFER TO THE FINISH SCHEDULE, FLOOR PLANS, AND ELEVATIONS FOR LOCATION AND EXTENT OF FINISH MATERIALS APPLIED TO PARTITIONS.
5. SOUND ATTENUATION BLANKET TO BE 3 1/2" UNLESS OTHERWISE NOTED.
6. AT SOUND INSULATED WALLS PROVIDE ACOUSTICAL CAULKING AROUND ALL PERIMETERS EDGES AND PENETRATIONS. OFFSET ELECTRICAL AND DATA OUTLETS 16" MIN.
7. ALL EXPOSED TO VIEW, CORNERS & ENDS SHALL RECEIVE MTL. EDGE BEADS TREATED WITH DRYWALL COMPOUND TO A HEIGHT OF 6" ABOVE FINISHED CEILINGS.

**PARTITION TYPE PLAN SYMBOL**



**PARTITION FIRE RATING BY HOUR:**

- 0xxx = NO FIRE RATING
- 1xxx = 1 HOUR FIRE RATING
- 2xxx = 2 HOUR FIRE RATING
- 3xxx = 3 HOUR FIRE RATING

**PARTITION CONSTRUCTION:**

- xHxx HAT CHANNEL
- xSxx C-H STUD/SHAFT WALL
- xMxx METAL STUD
- xWxx MASONRY
- xWxx WOOD STUD
- xExx EXISTING
- xPxx CAST-IN-PLACE CONCRETE

**NOMINAL WIDTH OF STRUCTURE: #**

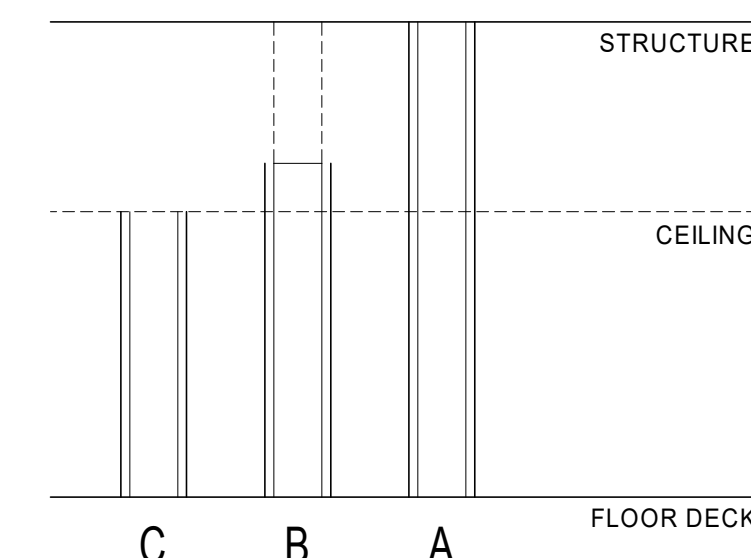
- x0x = 7/8"
- xx1x = 1 5/8"
- xx2x = 2 1/2"
- xx3x = 3 5/8"
- xx4x = 4"
- xx6x = 6"
- xx8x = 8"

**HEIGHT DESIGNATION**

- xxxA = UNDERSIDE OF STRUCTURE ABOVE
- xxxB = EXTEND STUDS TO UNDERSIDE OF STRUCTURE ABOVE, EXTEND GYPSUM BOARD TO 6" ABOVE CEILING
- xxxC = TO UNDERSIDE OF CEILING, OVERHEAD BRACED
- xxxP = PARTIAL HEIGHT PARTITION (SEE PLAN & ELEVATIONS FOR PARTITION HEIGHT)

**MODIFIER**

- E EXTRA LAYER OF GYPSUM (SEE ASSEMBLY DIAGRAM)
- O GYP ONE SIDE
- R RESILIENT CHANNEL
- S SOUND ATTENUATION - BATT'S AT METAL STUD



**GENERAL NOTES**

1. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
2. SEE SHEET A111 FOR PARTITION TYPES.
3. SEE SHEET A200 FOR DOOR TYPES AND DETAILS.
4. PROVIDE CONTROL JOINTS ON GYP. BD. ASSEMBLIES PER SPECIFICATIONS AND WHERE SHOWN.
5. PROVIDE RECESSED CORNER GUARDS TO EXISTING GYPSUM BOARD AND GLASS WALL PARTITIONS.
6. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD WALL CAVITIES.
7. WHERE NEW PARTITION ALIGNS WITH THE FACE OF AN EXISTING FURRED COLUMN OR PARTITION, REMOVE CORNER BEAD, TAPE AND SPACKLE NEW PARTITION TO EXISTING GYPSUM BOARD. PREPARE SURFACES FOR NEW FINISHES AS REQUIRED.
8. ALL EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK.
9. PROVIDE RECESSED FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS AND OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING SHOWING NUMBER, LOCATION, AND SPECIFICATION OF SUCH DEVICES FOR LAA REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
10. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
11. THE CONTRACTOR SHALL REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS.
12. CONTRACTOR SHALL COORDINATE WITH TENANT THE SCHEDULE FOR ALL TELEPHONE COMPANY AND DATA INSTALLATIONS.
13. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
14. CONTRACTOR SHALL COORDINATE AND PROVIDE METAL BACKING PLATES OR SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CROWN MOULDING WALL AND CEILING ATTACHED ITEMS AS REQUIRED BY EACH SPECIFIC ITEM.
15. ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
16. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN BY DESIGN INTENT ARCHITECT SUPERSEDES OTHER PLANS.
17. ALL PARTITION TYPES ARE 0S#S UNLESS OTHERWISE NOTED.
18. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILE, VCT, ETC.
19. COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
20. PARTITION TYPES ENCLOSING ROOMS AND SPACES SHALL BE CONTINUOUS THROUGHOUT ENTIRE ROOM OR SPACE.
21. PROVIDE ACOUSTICAL CAULKING AROUND ALL PERIMETER EDGES AND/OR PENETRATIONS AT SOUND INSULATED WALLS. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD CAVITIES.
22. WHERE ADJACENT PARTITION TYPES ARE OF DIFFERENT OVERALL THICKNESS, ALIGN FINISHES ON VISIBLE SIDE, AND FURR OPPOSITE SIDE AS REQUIRED FOR A FLUSH INSTALLATION.
23. BRACE ALL CHASE WALLS FROM STUD TO STUD AT 4" O.C. MIN. VERTICAL AND PER MANUFACTURER'S RECOMMENDATION UNLESS NOTED OTHERWISE.
24. PROVIDE STEEL STUD GAUGES AND/OR DIAGONAL BRACING AT TOPS OF WALLS PER MANUFACTURE'S RECOMMENDATIONS FOR WALL TYPE, HEIGHT, AND USE BASED ON L240 LIMITING HEIGHTS.
25. PROVIDE CONTINUOUS HORIZONTAL BRIDGING FOR WALLS EXTENDING 10'-0" OR GREATER IN HEIGHT FROM FINISH FLOOR.

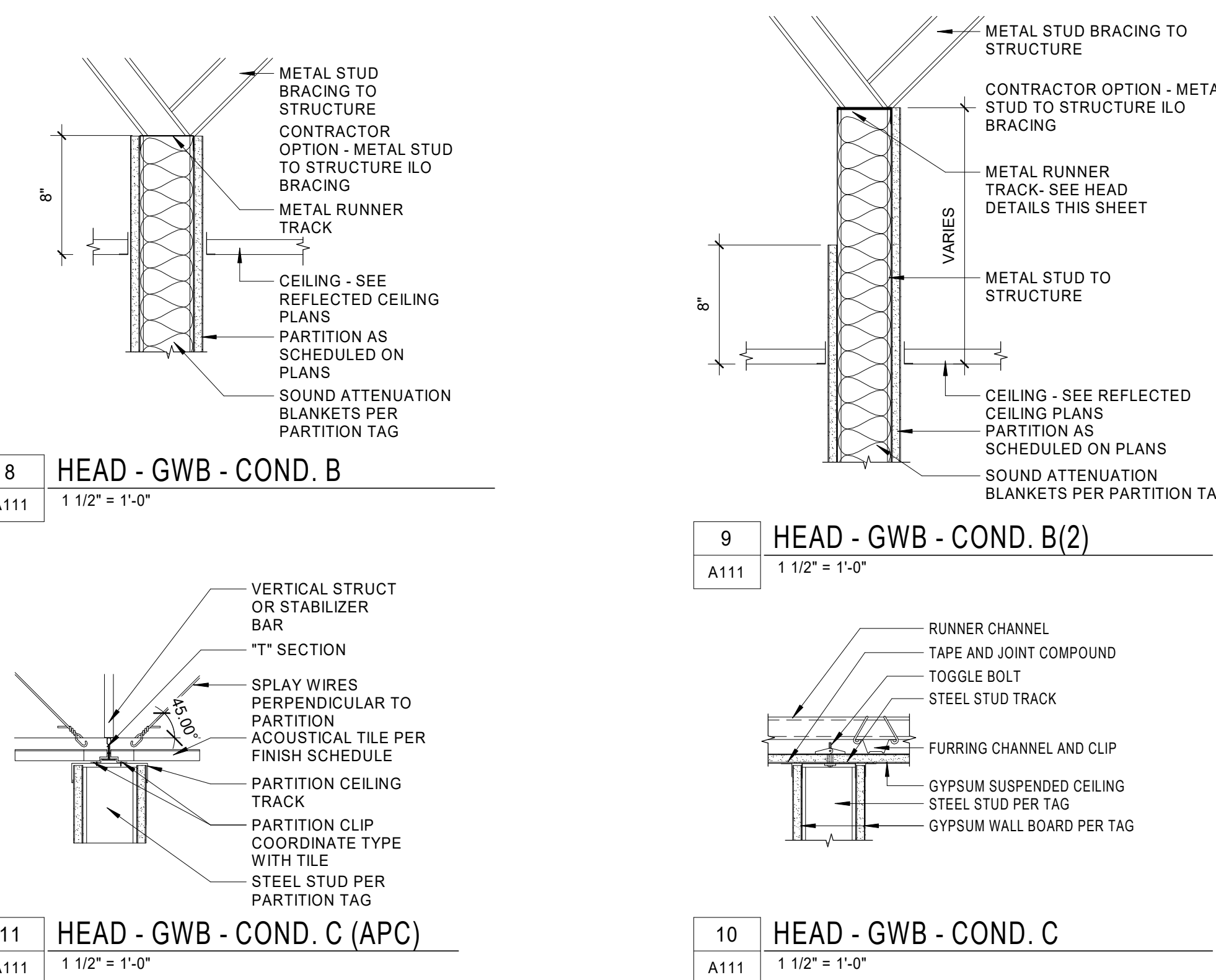
**ALTERNATES**

- ALTERNATE NO. 1 - DOOR SIDE LITES AND TRANSOMS
- a. BASE BID: DOORS SHALL NOT HAVE SIDE LITES AND TRANSOMS
  - b. ALTERNATE BID: SIDE LITES AND TRANSOMS AT ALL DOORS AS INDICATED ON DOOR SCHEDULE
- ALTERNATE NO. 2 - ACOUSTIC CEILING (APC2)
- a. BASE BID: NO ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
  - b. ALTERNATE BID: ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
- ALTERNATE NO. 3 - NEW SINK IN BREAK/WORK ROOM 216
- a. BASE BID: NO NEW SINK IN BREAK/WORK ROOM 216
  - b. ALTERNATE BID: INSTALL SINK AT BREAK/WORK ROOM 216 (SINGLE BOWL TO MATCH RESOURCE AREA), INCLUDE 48"W SINK BASE CABINET IN LIEU OF (2) 24" W CABINETS
- ALTERNATE NO. 4 - OWNER PREFERRED ALTERNATE: PROVIDE OWNER PREFERRED CAMPUS STANDARD HARDWARE ALTERNATE AS SPECIFIED IN SECTION 08 71 00 "DOOR HARDWARE" AND AS FOLLOWS:
1. LOCKS AND CYLINDERS: SCHLAGE
  2. EXIT DEVICES: VON DUPRIN
  3. DOOR CLOSERS: LCN
- ALTERNATE NO. 5 - VINYL WALL COVERING (VWC1 AND VWC2) AND VINYL FILM (VF1)
- a. BASE BID: NO VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FR&E SCOPE)
  - b. ALTERNATE BID: VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FR&E SCOPE)
- ALTERNATE NO. 6 - CWT1 BACKSPLASH IN BREAK/WORK ROOM 216
- a. BASE BID: NO CWT1 BACKSPLASH IN BREAK/WORK ROOM 216
  - b. ALTERNATE BID: CWT1 BACKSPLASH IN BREAK/WORK ROOM 216

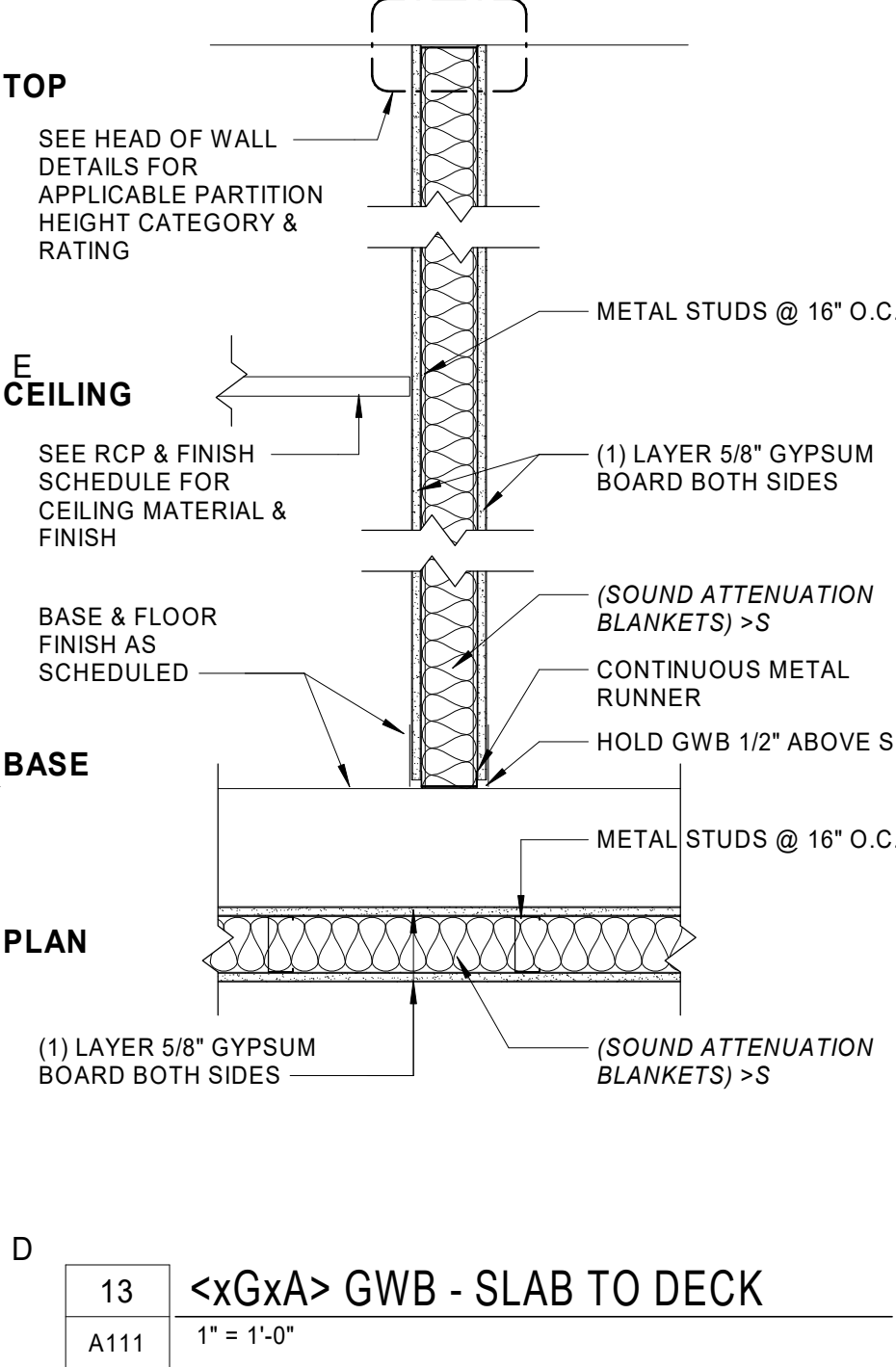
**EQUIPMENT / APPLIANCE LEGEND**

- EQ01 NOT USED
- EQ02 NOT USED
- EQ03 REFRIGERATOR OP/01
- EQ04 MICROWAVE OP/01
- EQ05 COPIER/MFD OP/01
- EQ06 MONITOR BY OWNER
- EQ07 POPCORN MAKER OP/01
- CR= CARD READER
- CG= CORNER GUARD

**GWB HEAD CONDITIONS**



**PARTITION TYPES**

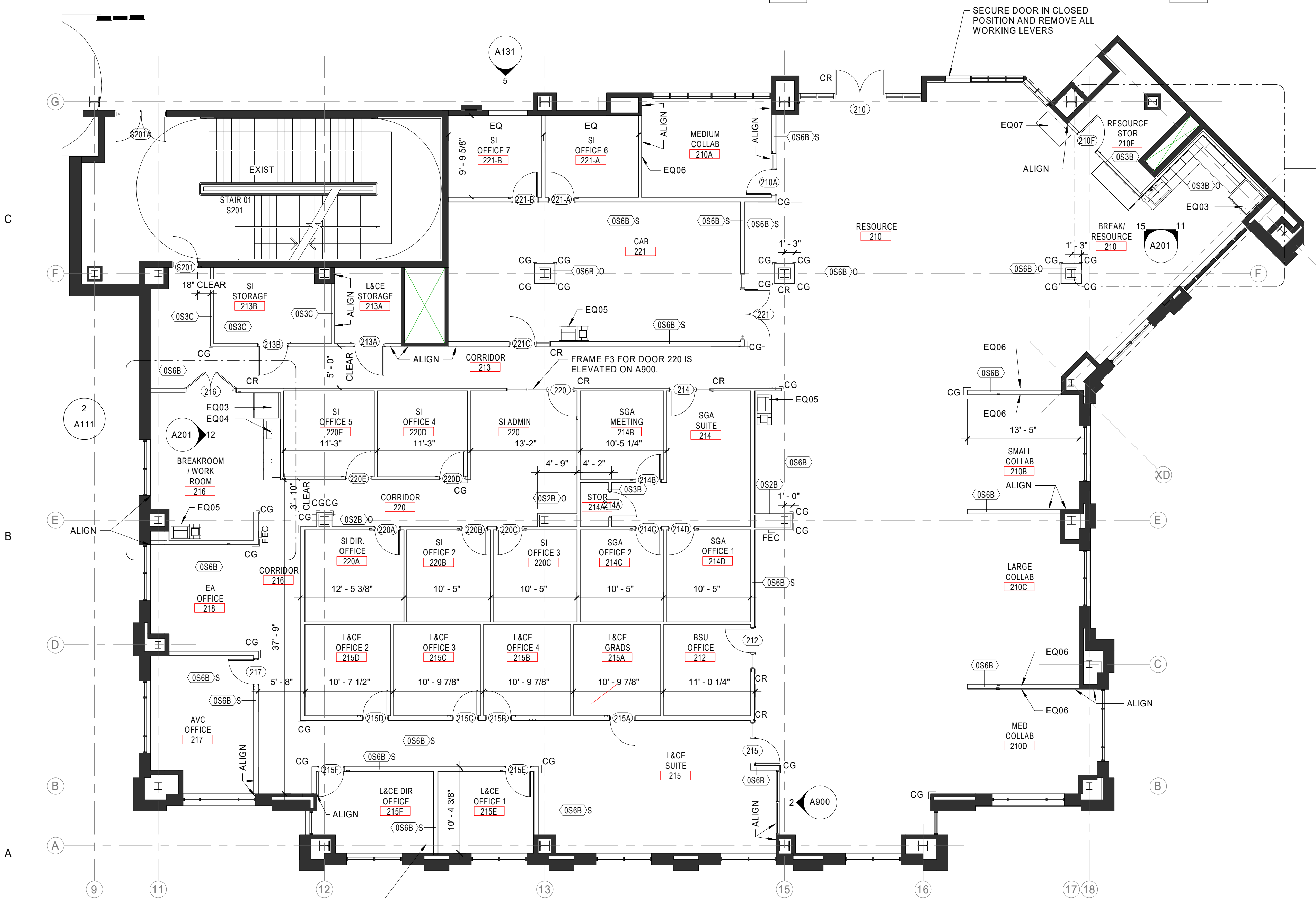


**LIMITING HEIGHTS - STEEL STUDS**

WALL HEIGHT	DEFLECTION LIMIT OF L240		DEFLECTION LIMIT OF L360	
	WITHOUT SHELVING	WITH SHELVING	WITHOUT SHELVING	WITH SHELVING
<10'	362S125-18 16" O.C.	362S125-18 16" O.C.	362S125-18 16" O.C.	362S125-18 16" O.C.
<12'	362S125-18 16" O.C.	362S125-33 16" O.C.	362S125-18 16" O.C.	362S125-33 16" O.C.
<14'	362S125-18 16" O.C.	362S125-33 16" O.C.	362S125-33 16" O.C.	362S125-33 16" O.C.
<16'	362S125-33 16" O.C.	362S125-33 16" O.C.	362S125-54 16" O.C.	362S125-54 16" O.C.

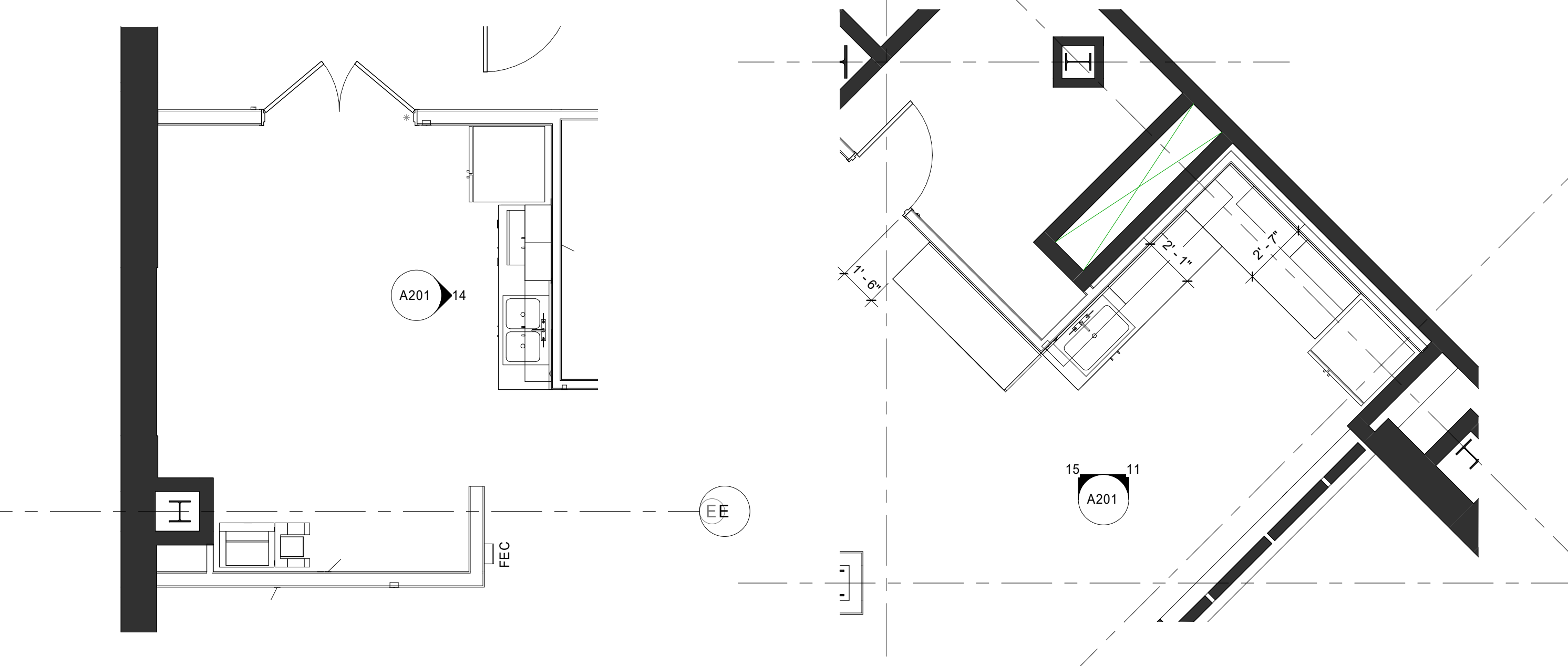
- NOTES:
1. DESIGN LATERAL LOAD OF 5 PSF, AND NO VERTICAL LOAD (NON-LOAD-BEARING).
  2. DEFLECTION LIMIT OF L360 SHALL BE USED FOR BRITTLE WALL FINISHES, SUCH AS TILE, TERRAZO, AND PLASTER. DEFLECTION LIMIT OF L240 MAY BE USED FOR ALL OTHER CONDITIONS.
  3. "WITH SHELVING" DESIGN FOR 16" SHELVING UNIT, LOAD OF 73 POUNDS PER LINEAR FOOT INCLUDING CONTENTS, CENTERED 3" FROM FACE OF WALL, FOR ONE ROW OF SHELVING ROUGHLY 4' A.F.F.
- MEMBER WEB DEPTH (6" = 600 x 1/100")      600 S 162 - 54
- FLANGE WIDTH (1-5/8" = 1.625" = 162 x 1/100")

- STYLE
- S = STUD OR JOIST SECTION
  - T = TRACK SECTIONS
  - U = CHANNEL SECTIONS
  - F = FURRING CHANNEL SECTIONS
- MIL THICKNESS (0.054" = 54 MILS, 1 MIL = 1/1000")
- 18 MIL = 25 GA
  - 27 MIL = 22 GA
  - 33 MIL = 20 GA (DRYWALL)
  - 33 MIL = 20 GA (STRUCTURAL)
  - 43 MIL = 18 GA
  - 54 MIL = 16 GA
  - 68 MIL = 14 GA



**5 RECESSED CORNER GUARDS**

- A111 3" = 1'-0"
- FULL HEIGHT TO MATCH COLOR OF WALL PAINT



**LITTLE**  
OVERSEEN ARCHITECTURAL CONSULTING

615 South College Street  
Charlotte, NC 28202  
774.25.9350

www.littleonline.com

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**UNC CHARLOTTE**

**LITTLE OVERSEEN ARCHITECTURAL CONSULTING, INC.**  
CERT. NO. 50035  
NORTH CAROLINA  
CHARLOTTE, N.C.

**WANNON RYDLE**  
REGISTERED ARCHITECT  
12539  
9.13.2010  
NORTH CAROLINA  
CHARLOTTE, N.C.

ISSUE FOR: BID SET

ISSUE DATE: 03/23/20

NO.	REASON	DATE

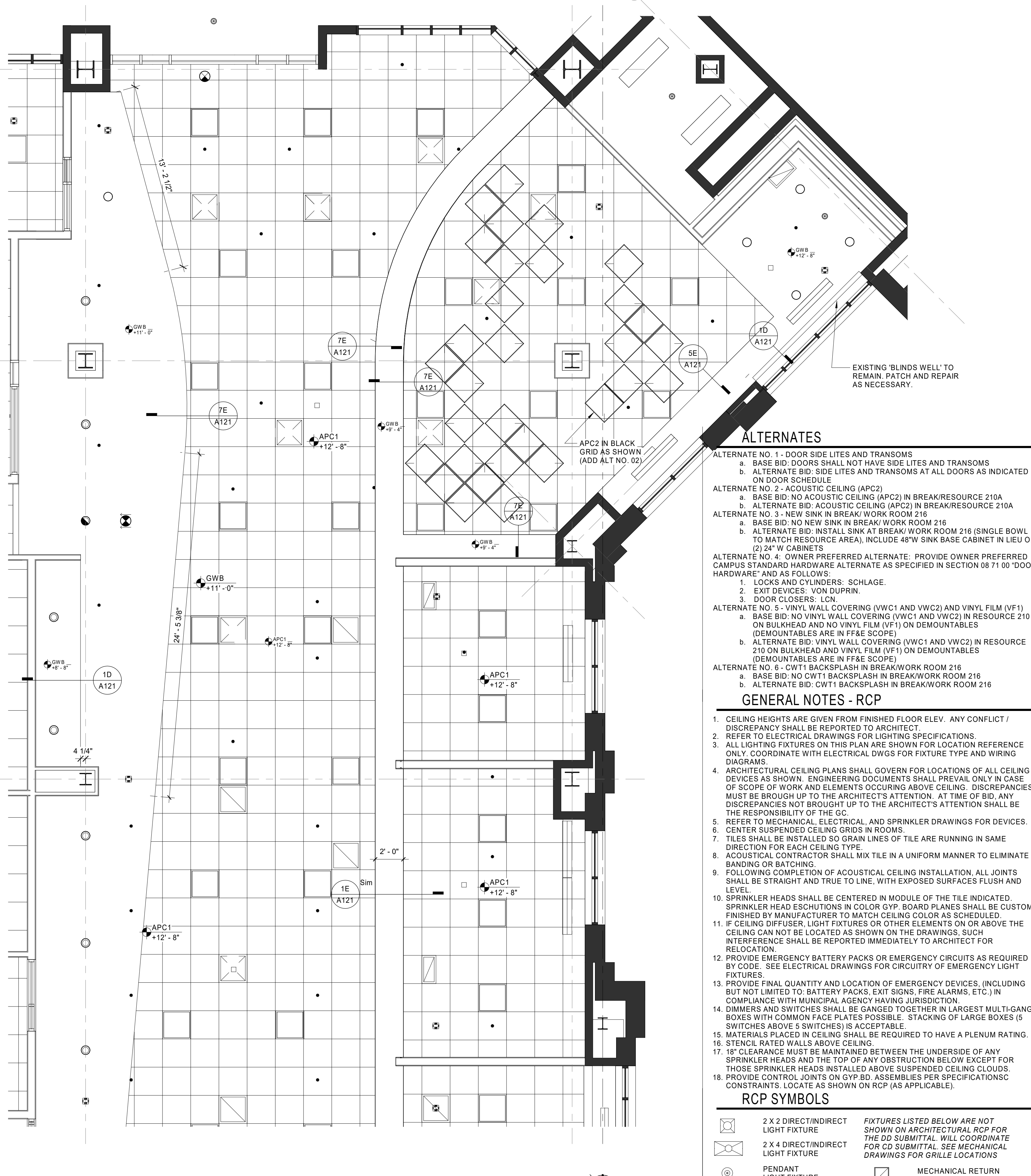
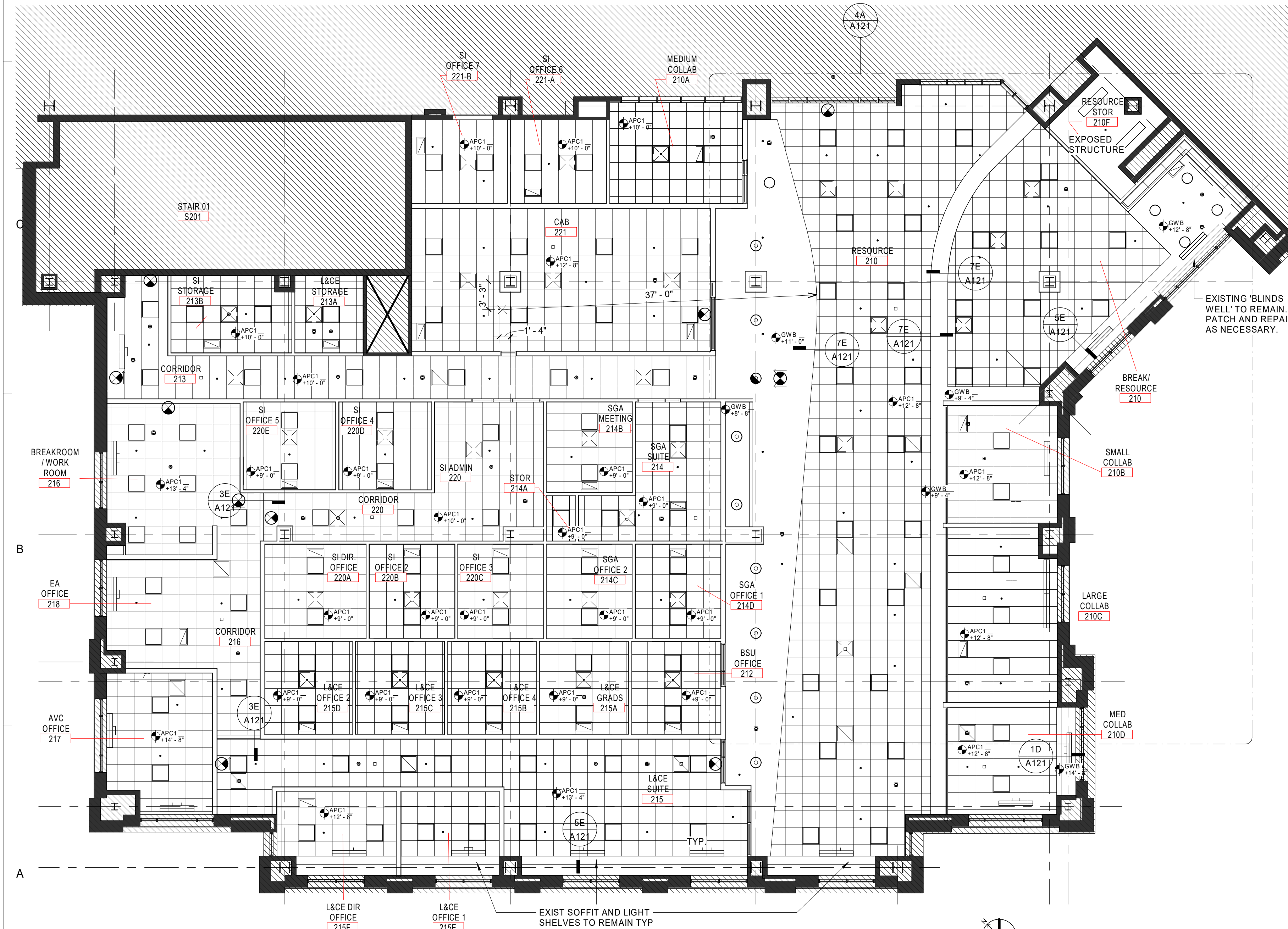
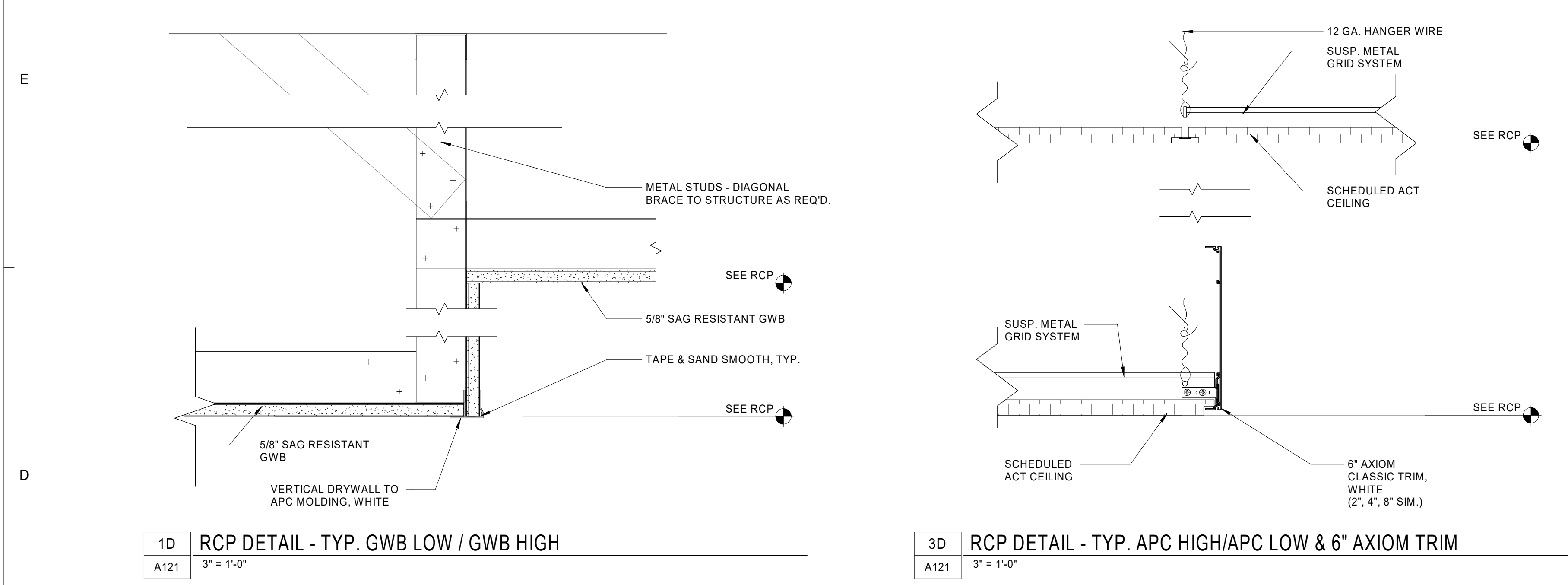
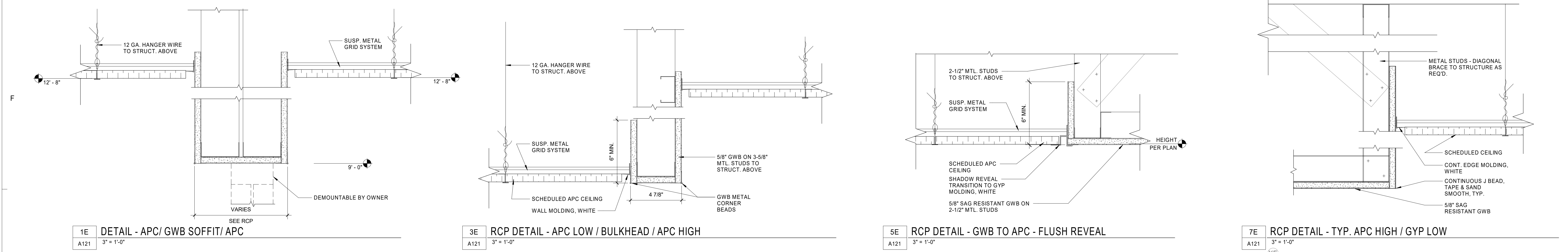
PROJECT TEAM  
PRINCIPAL IN CHARGE: SR  
PROJECT MANAGER: AS  
DESIGN TEAM: CE

PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A  
PROJECT NO.: 113-1001-00  
SHEET TITLE: PARTITION TYPES AND FLOOR PLAN - LEVEL 02

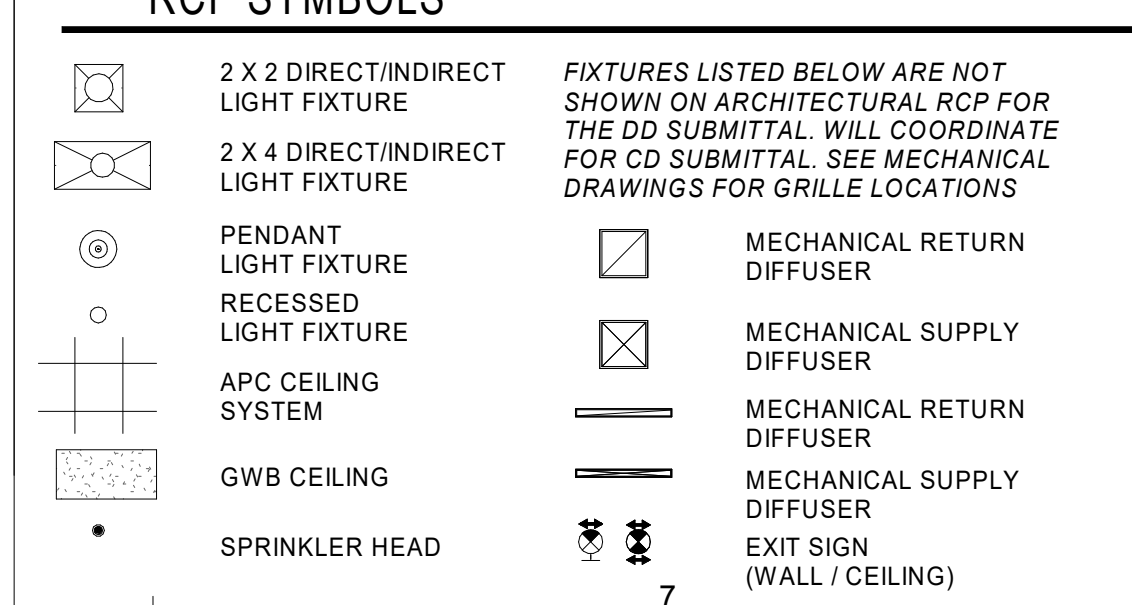
SHEET NUMBER: A111





- ALTERNATES**
- ALTERNATE NO. 1 - DOOR SIDE LITES AND TRANSOMS  
 a. BASE BID: DOORS SHALL NOT HAVE SIDE LITES AND TRANSOMS  
 b. ALTERNATE BID: SIDE LITES AND TRANSOMS AT ALL DOORS AS INDICATED ON DOOR SCHEDULE
- ALTERNATE NO. 2 - ACOUSTIC CEILING (APC2)  
 a. BASE BID: NO ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A  
 b. ALTERNATE BID: ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
- ALTERNATE NO. 3 - NEW SINK IN BREAK/WORK ROOM 216  
 a. BASE BID: NO NEW SINK IN BREAK/WORK ROOM 216 (SINGLE BOWL TO MATCH RESOURCE AREA), INCLUDE 48" SINK BASE CABINET IN LIEU OF (2) 24" W CABINETS  
 b. ALTERNATE BID: OWNER PREFERRED ALTERNATE. PROVIDE OWNER PREFERRED CAMPUS STANDARD HARDWARE ALTERNATE AS SPECIFIED IN SECTION 08 71 00 "DOOR LOCK AND CYLINDERS: SCHLAGE."  
 1. LOCK AND CYLINDERS: SCHLAGE.  
 2. EXIT DEVICES: VON DUPRIN.  
 3. DOOR CLOSERS: LCN.
- ALTERNATE NO. 4 - VINYL WALL COVERING (VWC1 AND VWC2) AND VINYL FILM (VF1)  
 a. BASE BID: NO VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE)  
 b. ALTERNATE BID: VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE)
- ALTERNATE NO. 6 - CW1 BACKSPLASH IN BREAK/WORK ROOM 216  
 a. BASE BID: NO CW1 BACKSPLASH IN BREAK/WORK ROOM 216  
 b. ALTERNATE BID: CW1 BACKSPLASH IN BREAK/WORK ROOM 216

- GENERAL NOTES - RCP**
- CEILING HEIGHTS ARE GIVEN FROM FINISHED FLOOR ELEV. ANY CONFLICT / DISCREPANCY SHALL BE REPORTED TO ARCHITECT
  - REFER TO ELECTRICAL DRAWINGS FOR LIGHTING SPECIFICATIONS.
  - ALL LIGHTING FIXTURES ON THIS PLAN ARE SHOWN FOR LOCATION REFERENCE ONLY. COORDINATE WITH ELECTRICAL DWGS FOR FIXTURE TYPE AND WIRING DIAGRAMS.
  - ARCHITECTURAL CEILING PLANS SHALL GOVERN FOR LOCATIONS OF ALL CEILING DEVICES AS SHOWN. ENGINEERING DOCUMENTS SHALL PREVAIL ONLY IN CASE OF SCOPE OF WORK AND ELEMENTS OCCURRING ABOVE CEILING. DISCREPANCIES MUST BE BROUGHT UP TO THE ARCHITECT'S ATTENTION. AT TIME OF BID, ANY DISCREPANCIES NOT BROUGHT UP TO THE ARCHITECT'S ATTENTION SHALL BE THE RESPONSIBILITY OF THE GC.
  - REFER TO MECHANICAL ELECTRICAL AND SPRINKLER DRAWINGS FOR DEVICES.
  - CENTER SUSPENDED CEILING GRIDS IN ROOMS
  - TILES SHALL BE INSTALLED SO GRAIN LINES OF TILE ARE RUNNING IN SAME DIRECTION FOR EACH CEILING TYPE.
  - ACOUSTICAL CONTRACTOR SHALL MIX TILE IN A UNIFORM MANNER TO ELIMINATE BANDING OR BATCHING.
  - FOLLOWING COMPLETION OF ACOUSTICAL CEILING INSTALLATION, ALL JOINTS SHALL BE STRAIGHT AND TRUE TO LINE, WITH EXPOSED SURFACES FLUSH AND LEVEL.
  - SPRINKLER HEADS SHALL BE CENTERED IN MODULE OF THE TILE INDICATED. SPRINKLER HEAD ESCUTCIONS IN COLOR GYP BOARD PLANS SHALL BE CUSTOM FINISHED BY MANUFACTURER TO MATCH CEILING COLOR AS SCHEDULED.
  - IF CEILING DIFFUSER, LIGHT FIXTURES OR OTHER ELEMENTS ON OR ABOVE THE CEILING CAN NOT BE LOCATED AS SHOWN ON THE DRAWINGS, SUCH DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO ARCHITECT FOR RELOCATION.
  - PROVIDE EMERGENCY BATTERY PACKS OR EMERGENCY CIRCUITS AS REQUIRED BY CODE - SEE ELECTRICAL DRAWINGS FOR CIRCUITRY OF EMERGENCY LIGHT FIXTURES.
  - PROVIDE FINAL QUANTITY AND LOCATION OF EMERGENCY DEVICES, INCLUDING BUT NOT LIMITED TO: BATTERY PACKS, EXIT SIGNS, FIRE ALARMS, ETC.) IN COMPLIANCE WITH MUNICIPAL AGENCY HAVING JURISDICTION.
  - DIMMERS AND SWITCHES SHALL BE GANGED TOGETHER IN LARGEST MULTI-GANG BOXES WITH COMMON FACE PLATES POSSIBLE. STACKING OF LARGE BOXES (5 SWITCHES ABOVE 5 SWITCHES) IS ACCEPTABLE.
  - MATERIALS PLACED IN CEILING SHALL BE REQUIRED TO HAVE A PLENUM RATING.
  - STENCIL RATED WALLS ABOVE CEILING.
  - 18" CLEARANCE MUST BE MAINTAINED BETWEEN THE UNDERSIDE OF ANY SPRINKLER HEADS AND THE TOP OF ANY OBSTRUCTION BELOW EXCEPT FOR THOSE SPRINKLER HEADS INSTALLED ABOVE SUSPENDED CEILING CLOUDS.
  - PROVIDE CONTROL JOINTS ON GYP BD. ASSEMBLIES PER SPECIFICATIONS CONSTRAINTS. LOCATE AS SHOWN ON RCP (AS APPLICABLE).





BASIS OF DESIGN		
KEY	MANUFACTURER	MODEL NUMBER
APC1	USG	MARS 2' X 2' X 3/4" 88185; 15/16" WHITE GRID
APC3	TURF DESIGN	SLICE B2 GREEN14; FELT WITH BLACK 360 PAINTED 15/16" GRID
CG1	RE-USE EXISTING/ NEW TO MATCH	FULL HEIGHT; PAINT TO MATCH ADJACENT WALL
CPT1	MILLIKEN	EDGE LIT: CUSTOM; ASHLAR
CPT2	MILLIKEN	EDGE LIT: CUSTOM; ASHLAR
CPT3	MILLIKEN	EDGE LIT: CUSTOM; ASHLAR
CWT1	DAL TILE	0115 EMERALD
LVT1	INTERFACE	BRUSHED LINES; GRAPHITE
P1	SHERWIN WILLIAMS	SW7065 ARGOS
P2	TBD	DEEP TINT ACCENT
P3	TBD	DEEP TINT ACCENT
PL1	FORMICA	WHITE 9454C; MICRO DOT
PL2	WILSONART	FUSION MAPLE 7909-60
RB1	ROPPE	123 CHARCOAL
SDS1	WILSONART	GREY LACE 9224SS
SDS2	LS MAUSYS HI MACS	TBD
VF1	NATIONAL	LEVEL DIGITAL; FROSTED FILM TO MATCH VWC1 PATTERN (ADD ALTERNATE 05)
VWC1	NATIONAL	LEVEL DIGITAL WALLCOVERING; HIGH TIDE SALSA BASIS OF DESIGN- RECOLORED (ADD ALTERNATE 05)
VWC2	NATIONAL	LEVEL DIGITAL WALLCOVERING; WORD PLAY BUBBLE CORNFLOWER BASIS OF DESIGN - RECOLORED (ADD ALTERNATE 05)
WD1	TBD	MATCH EXISTING SPECIES AND STAIN; SUBMIT SAMPLES FOR APPROVAL
WDB1	MILLWORKER	MATCH EXISTING SPECIES AND STAIN; SUBMIT SAMPLES FOR APPROVAL

**FINISH ABBREVIATIONS**

MARK	MATERIAL
APC	ACOUSTIC PANEL CEILING
AWP	ACOUSTIC WALL PANEL
CPT	CARPET TILE
CUR	CURTAIN
CWT	CERAMIC WALL TILE
EP	EXPOXY PAINT
ES	EXPOSED STRUCTURE
FRP	FIBERGLASS REINFORCED PANEL
LVT	LUXURY VINYL TILE
MTH	MARBLE THRESHOLD
P	PAINT
PFT	PORCELAIN FLOOR TILE
PL	PLASTIC LAMINATE
PTB	PORCELAIN TILE BASE
PWT	PORCELAIN WALL TILE
RB	RESILIENT BASE
RSF	RESILIENT SHEET FLOOR
SCONC	SEALED CONCRETE
SDS	SOLID SURFACE
STCONC	STAINED CONCRETE
TP	TOILET PARTITION
VWC	VINYL WALLCOVERING
WD	WOOD DOOR
WDB	WOOD BASE
WDC	WOOD CEILING
WDS	WOOD SCREEN
WO	WALK OFF CARPET
WT	WINDOW TREATMENT

**GENERAL NOTES - FINISHES**

- CONTRACTOR SHALL PROVIDE ALL INTERIOR FINISHES AS SPECIFIED HEREIN. LITTLE DIVERSIFIED ARCHITECTURAL CONSULTING SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS PRIOR TO PROCEEDING WITH WORK.
- ALL INTERIOR FINISHES SHALL HAVE A CLASS A FLAME SPREAD RATING.
- CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE ACCURACY OF HIS MEASUREMENTS AND TOTAL YARDAGE REQUIREMENTS TO BE FURNISHED. NO REQUESTS FOR MATERIALS OR INSTALLATION EXTRAS WILL BE CONSIDERED DUE TO MEASUREMENT OR TAKEOFF ERRORS BY CONTRACTOR. REFER TO ARCH. PLAN A101 FOR ALL DIMENSIONS.
- VARIATIONS IN FLOOR LEVEL IN EXCESS OF 1" FOR EVERY 10'-0" SHALL BE LEVELED BY CONTRACTOR. LEVELING SHALL BE COMPLETED WITH FLOOR READY TO RECEIVE NEW FINISHES AS SPECIFIED. CONTRACTOR SHALL VERIFY SLAB CONDITION PRIOR TO BID SUBMISSION.
- ALL MISCELLANEOUS GRILLES, PLATES, OR OTHER DEVICES SHALL BE PAINTED TO MATCH THE WALL OR CEILING IN WHICH THEY ARE INSTALLED.
- UNLESS OTHERWISE NOTED PROVIDE MINIMUM 3-COAT PAINT SYSTEMS AS SPECIFIED FOR EACH SUBSTRATE; REFER TO FINISH PLAN FOR COLORS AND SHEENS.
- ALL NEW AND EXISTING FINISHES SCHEDULED TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED BY CONTRACTOR INVOLVED AT HIS COST WITH NO COST TO OWNER.
- CLEAN HVAC DIFFUSERS, DRAPERY POCKETS, FIRE EXTINGUISHER CABINET, AND SPEAKER GRILLS. DO NOT PAINT EQUIPMENT, UNLESS OTHERWISE NOTED.
- PATCH & SAND ALL EXISTING WALLS THAT WERE DAMAGED OR HAD ITEMS REMOVED. COLUMNS, SOFFITS, ETC. TO BE READY FOR PAINT.

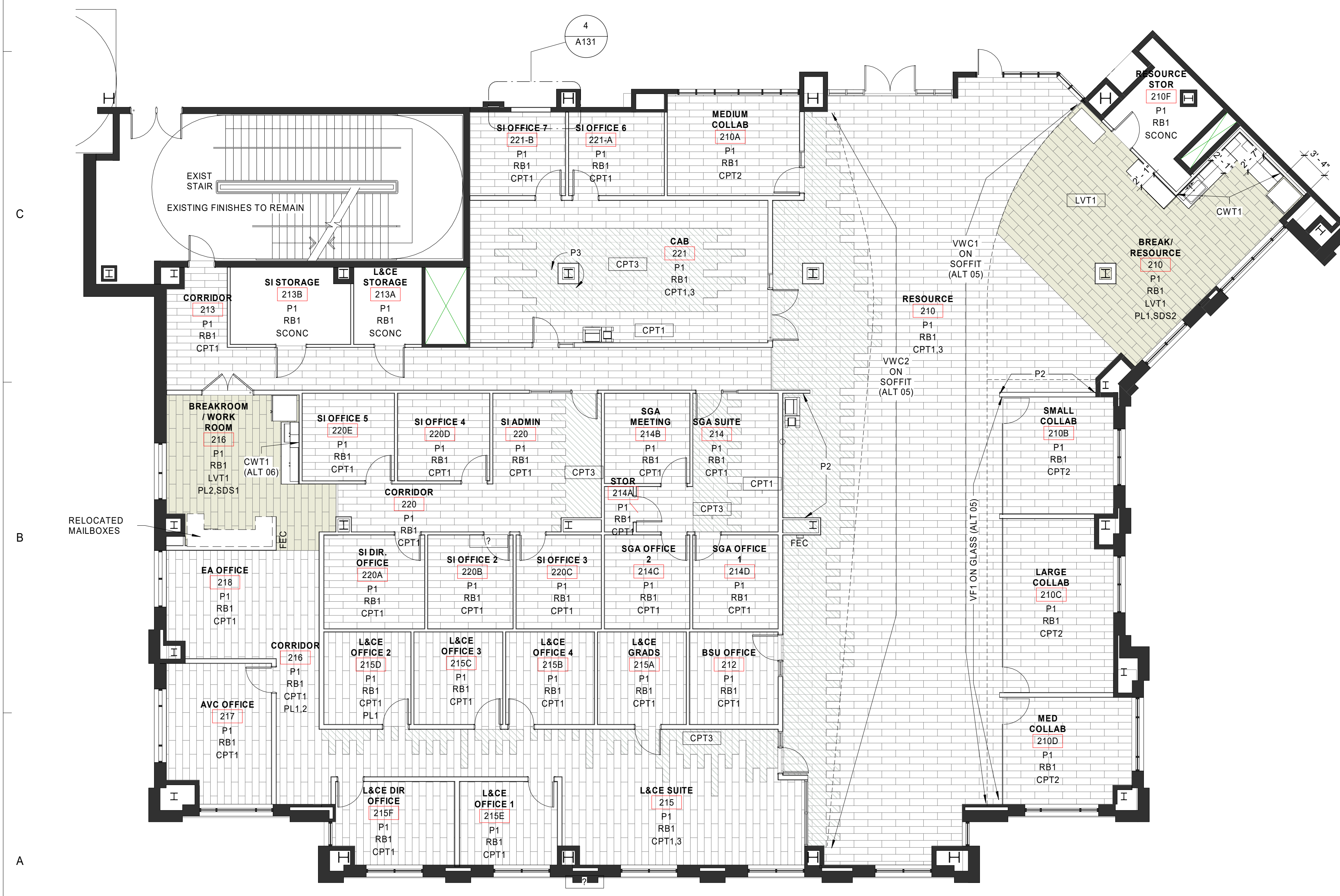
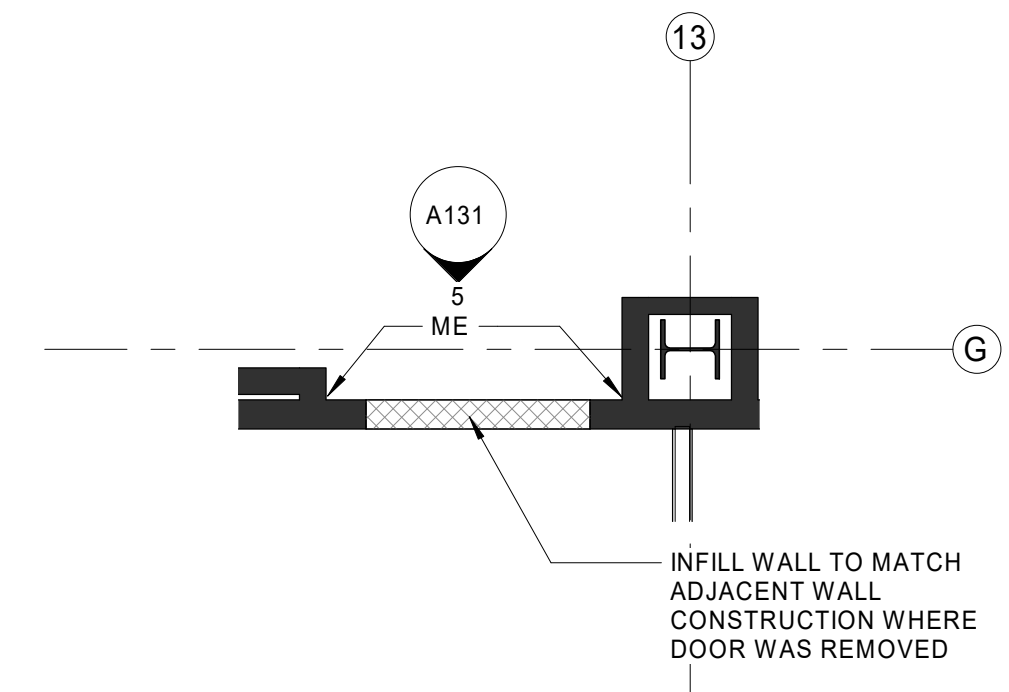
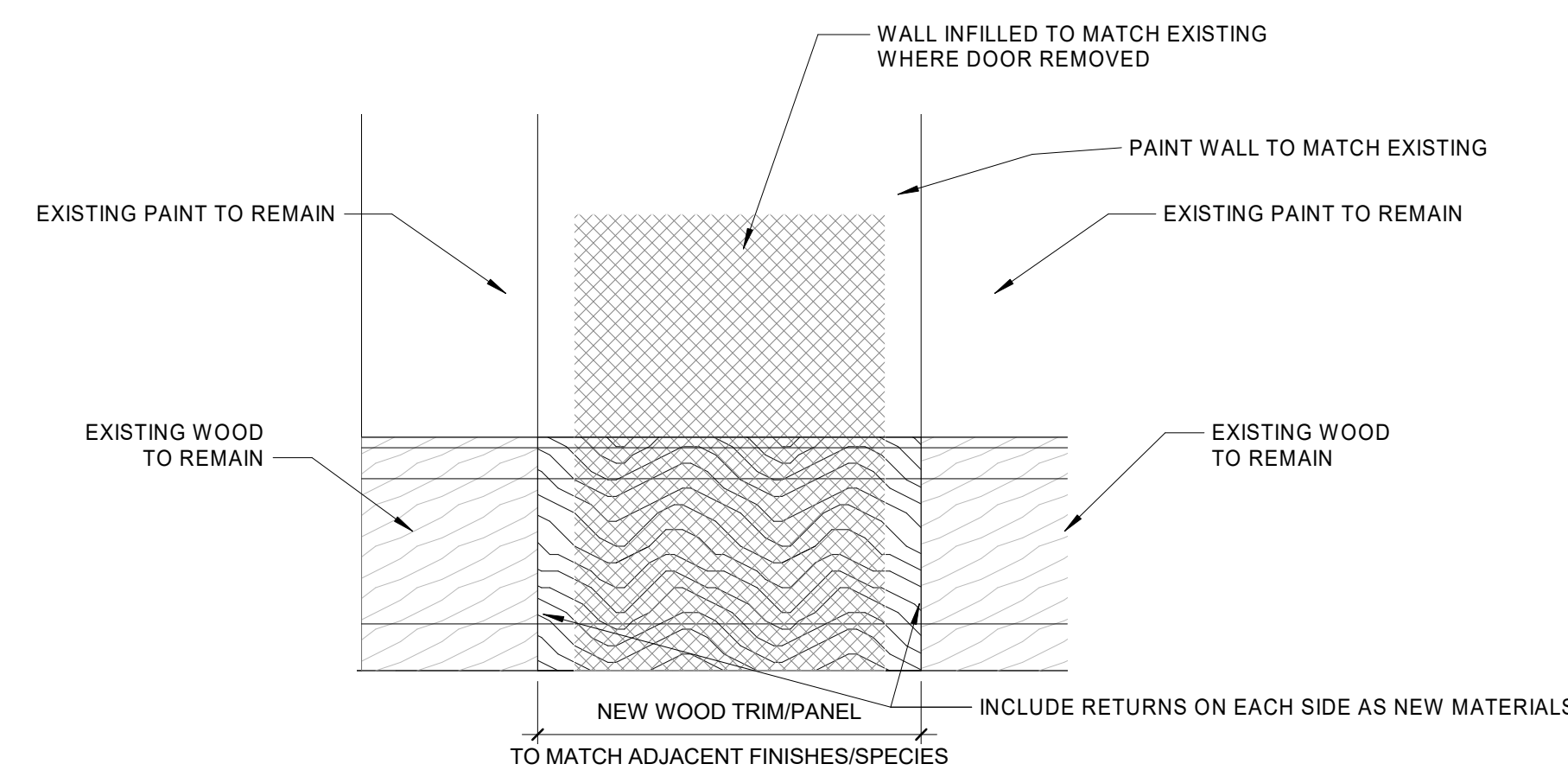
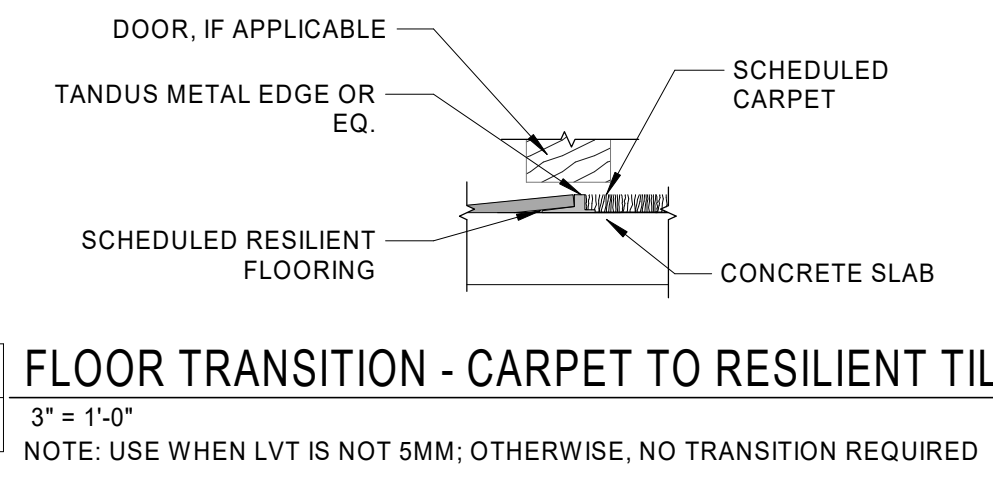
**ROOM TAG LEGEND**

Room name	101
Wall Finish	
Base Finish	
Floor Finish	

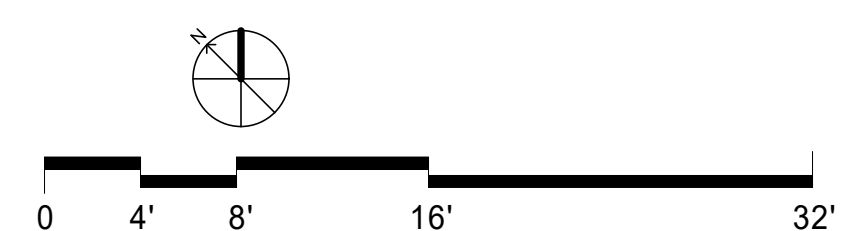
This is a sample comment

**ALTERNATES**

- ALTERNATE NO. 1 - DOOR SIDE LITES AND TRANSOMS
- BASE BID: DOORS SHALL NOT HAVE SIDE LITES AND TRANSOMS ON DOOR SCHEDULE
  - ALTERNATE BID: SIDE LITES AND TRANSOMS AT ALL DOORS AS INDICATED ON DOOR SCHEDULE
- ALTERNATE NO. 2 - ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
- BASE BID: NO ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
  - ALTERNATE BID: ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A
- ALTERNATE NO. 3 - NEW SINK IN BREAK/WORK ROOM 216
- BASE BID: NO NEW SINK IN BREAK/WORK ROOM 216
  - ALTERNATE BID: INSTALL SINK AT BREAK/WORK ROOM 216 (SINGLE BOWL TO MATCH RESOURCE AREA), INCLUDE 48" W SINK BASE CABINET IN LIEU OF (2) 24" W CABINETS
- ALTERNATE NO. 4 - OWNER PREFERRED ALTERNATE: PROVIDE OWNER PREFERRED CAMPUS STANDARD HARDWARE ALTERNATE AS SPECIFIED IN SECTION 08 71 00 'DOOR HARDWARE' AND AS FOLLOWS:
- LOCKS AND CYLINDERS: SCHLAGE.
  - EXIT DEVICES: YON DUPRIN.
  - DOOR CLOSERS: LCN.
- ALTERNATE NO. 5 - VINYL WALL COVERING (VWC1 AND VWC2) AND VINYL FILM (VF1)
- BASE BID: NO VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE)
  - ALTERNATE BID: VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE)
- ALTERNATE NO. 6 - CWT1 BACKSPLASH IN BREAK/WORK ROOM 216
- BASE BID: NO CWT1 BACKSPLASH IN BREAK/WORK ROOM 216
  - ALTERNATE BID: CWT1 BACKSPLASH IN BREAK/WORK ROOM 216



**1 Level 2 - FINISH PLAN**  
A131 1/8" = 1'-0"



3/19/2020 4:50:40 PM C:\Users\ashley.spinks\Documents\1131001000\_SGO RENO\_v20\_A\_adishersplinks.rvt



ISSUE FOR: BID SET

ISSUE DATE: 03/23/20

REVISIONS: NO. REASON DATE

PROJECT TEAM: PRINCIPAL IN CHARGE: SR

PROJECT MANAGER: AS

DESIGN TEAM: CE

PROJECT NAME: UNCC-SGO RENOVATIONS

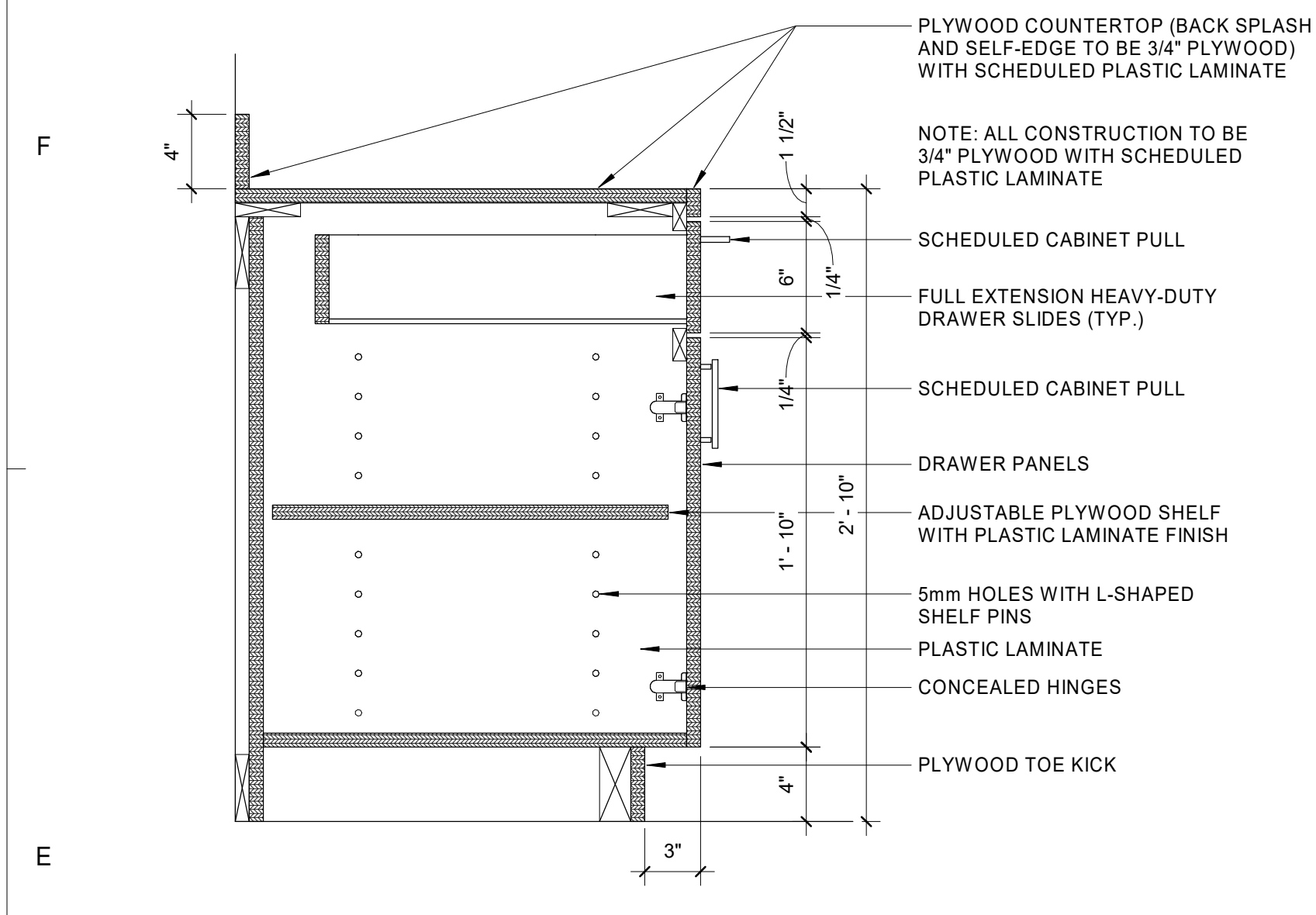
SCO PROJECT #18-18336-01A

PROJECT NO. 113-1001-00

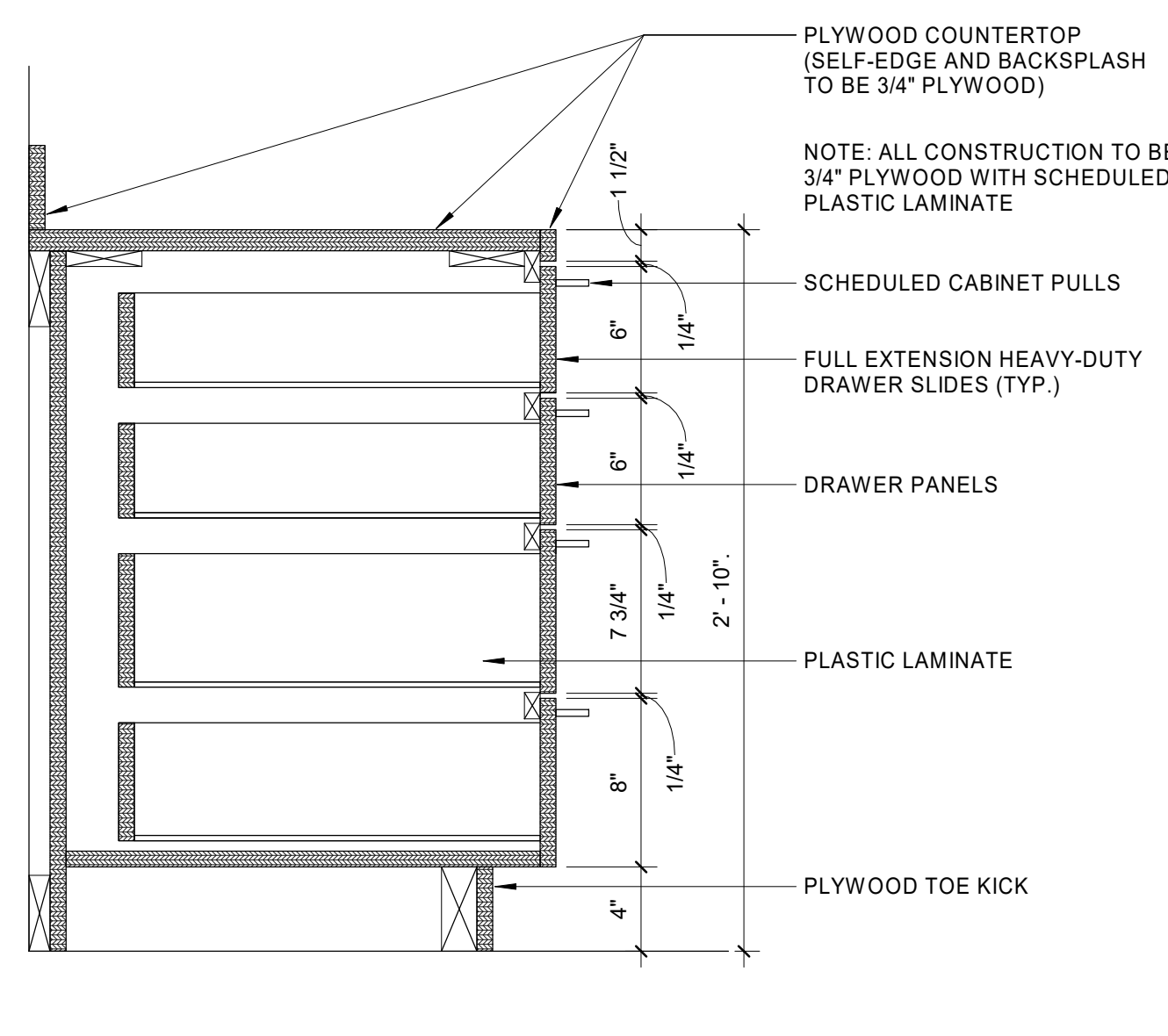
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SHEET NUMBER: A131

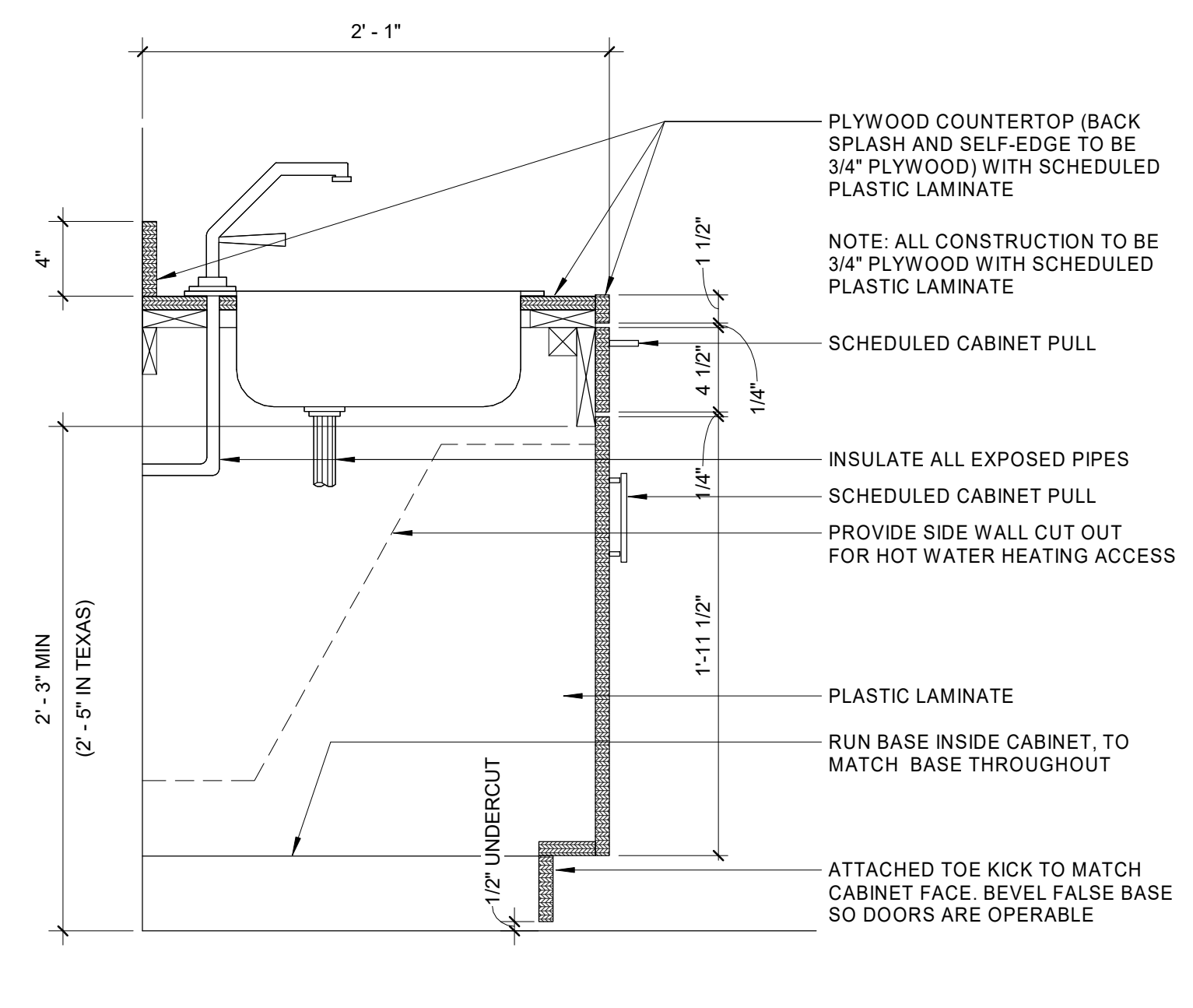




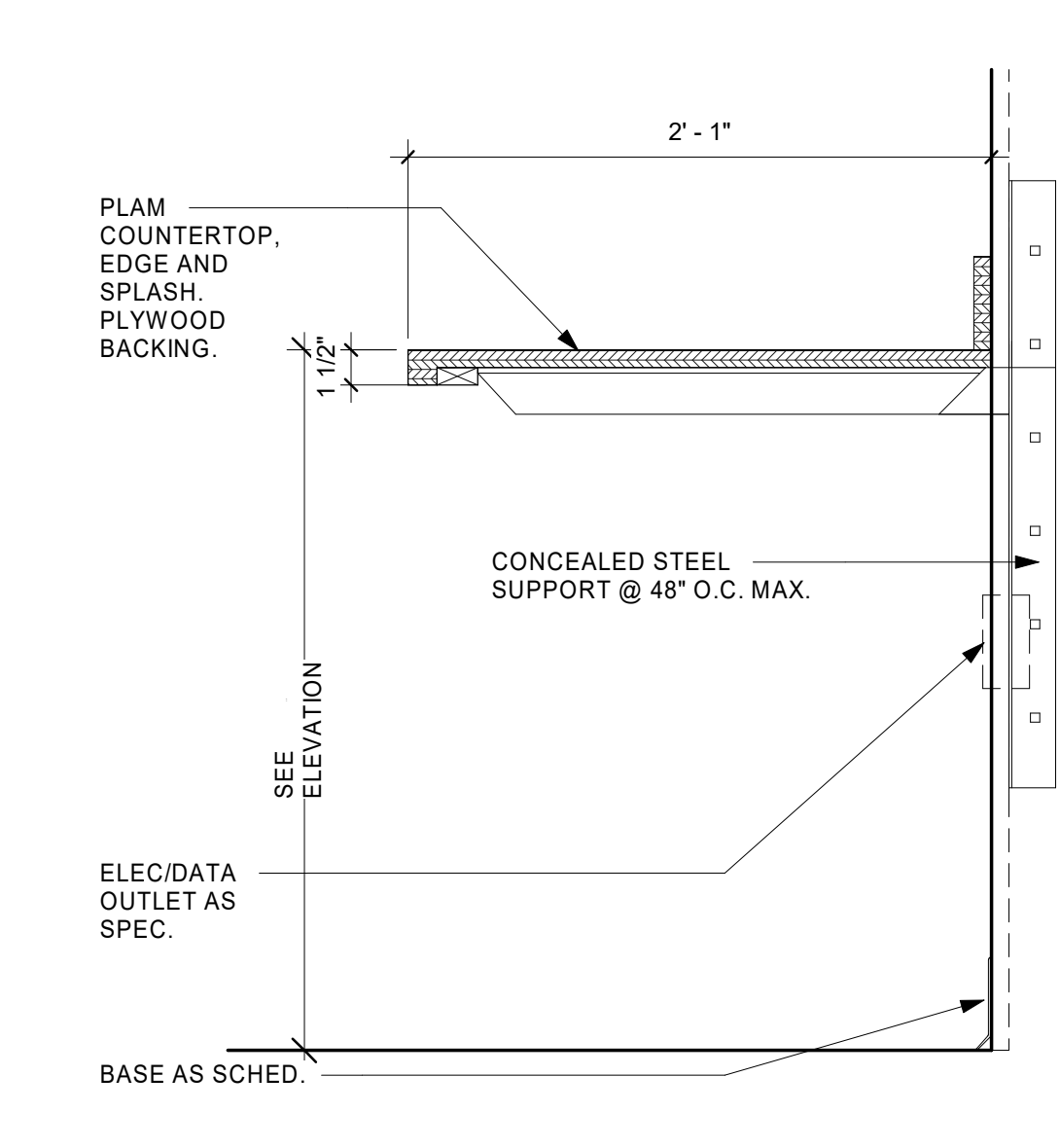
**2 MILLWORK BASE CABINET**  
A201 1 1/2" x 1'-0"



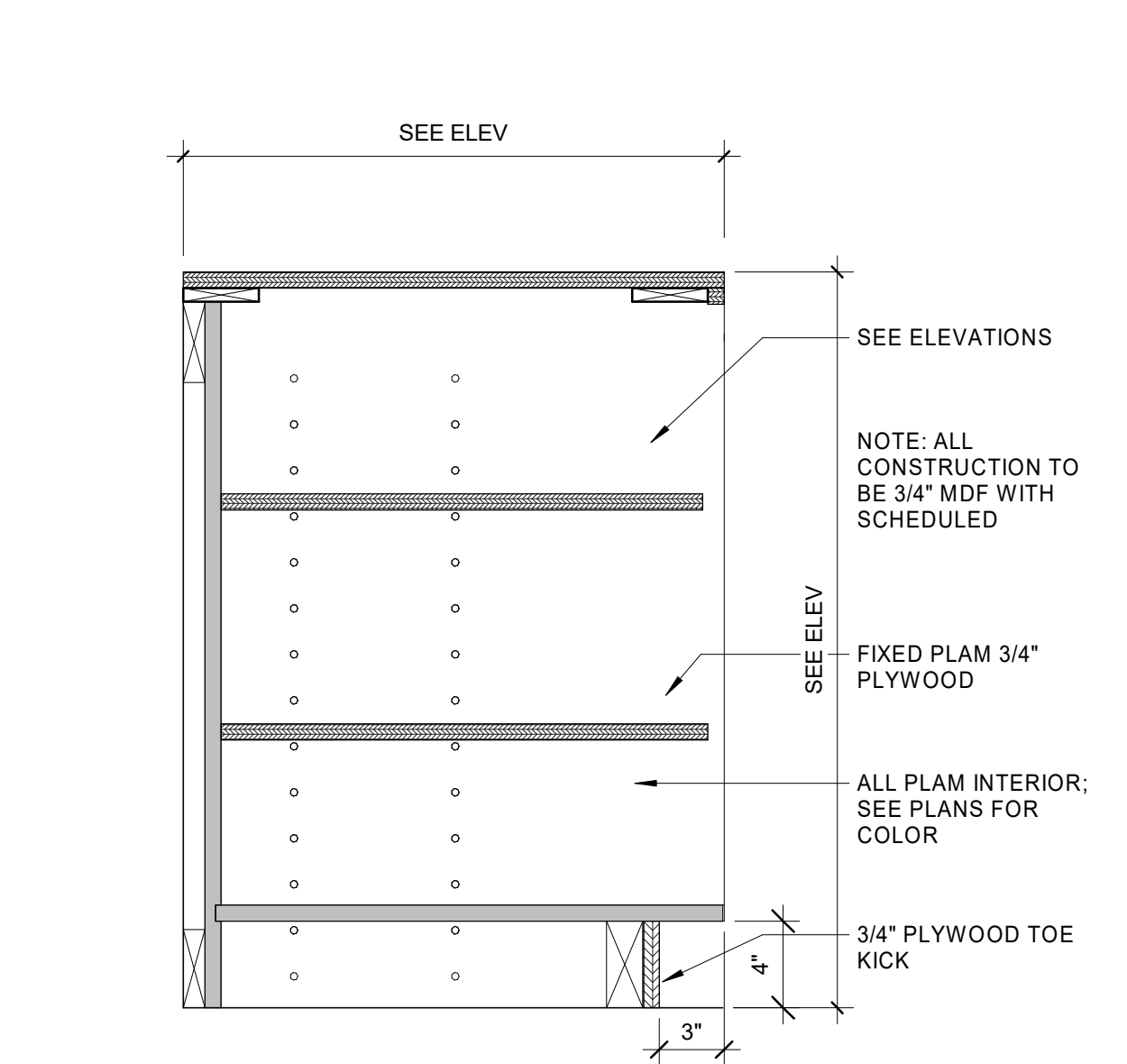
**3 MILLWORK DRAWER CABINET**  
A201 1 1/2" x 1'-0"



**4 SINK CABINET**  
A201 1 1/2" x 1'-0"



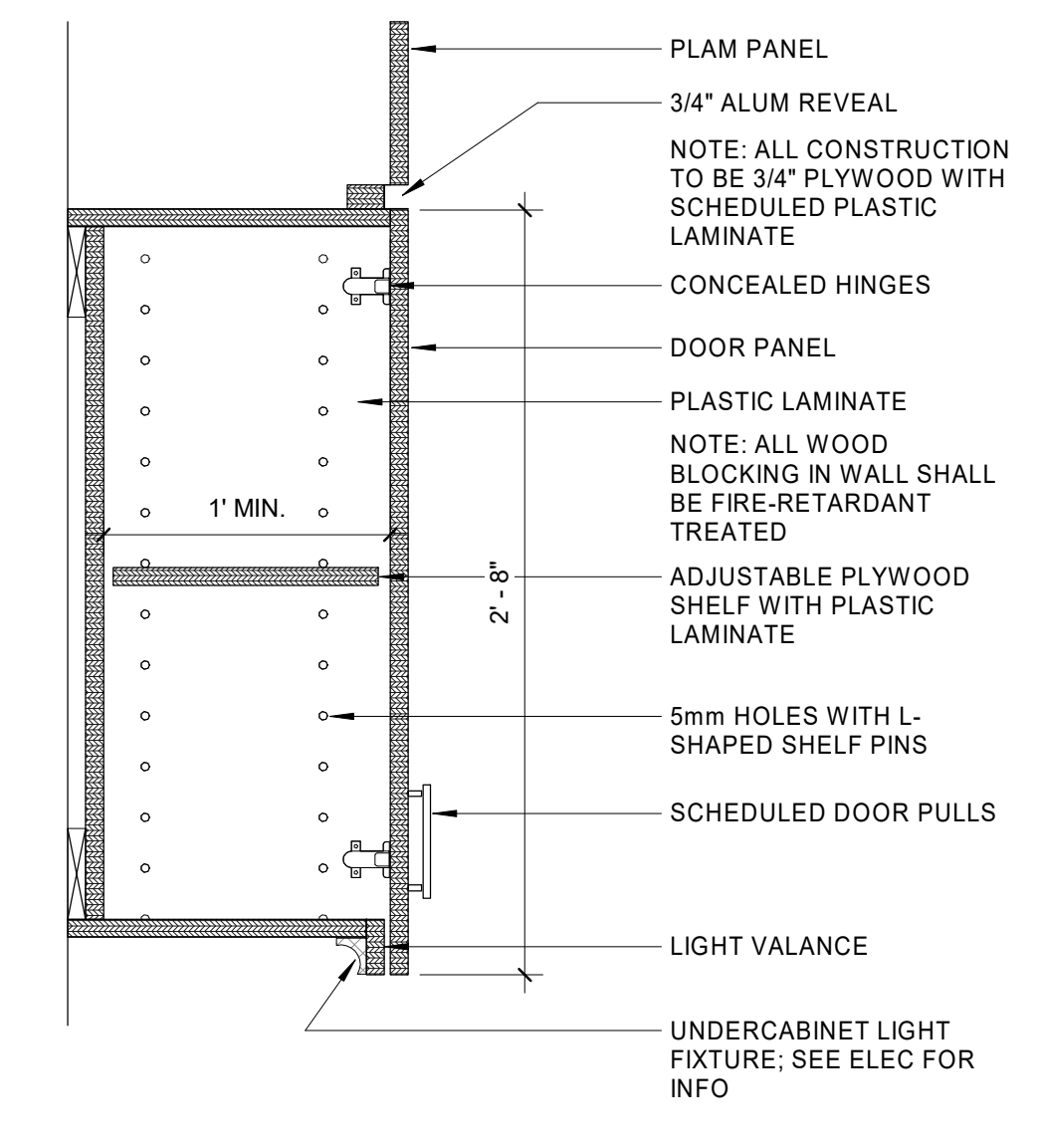
**8 COUNTERTOP - CONCEALED SUPPORT**  
A201 1 1/2" x 1'-0"



**7 CASEWORK - OPEN BASE**  
A201 1 1/2" x 1'-0"



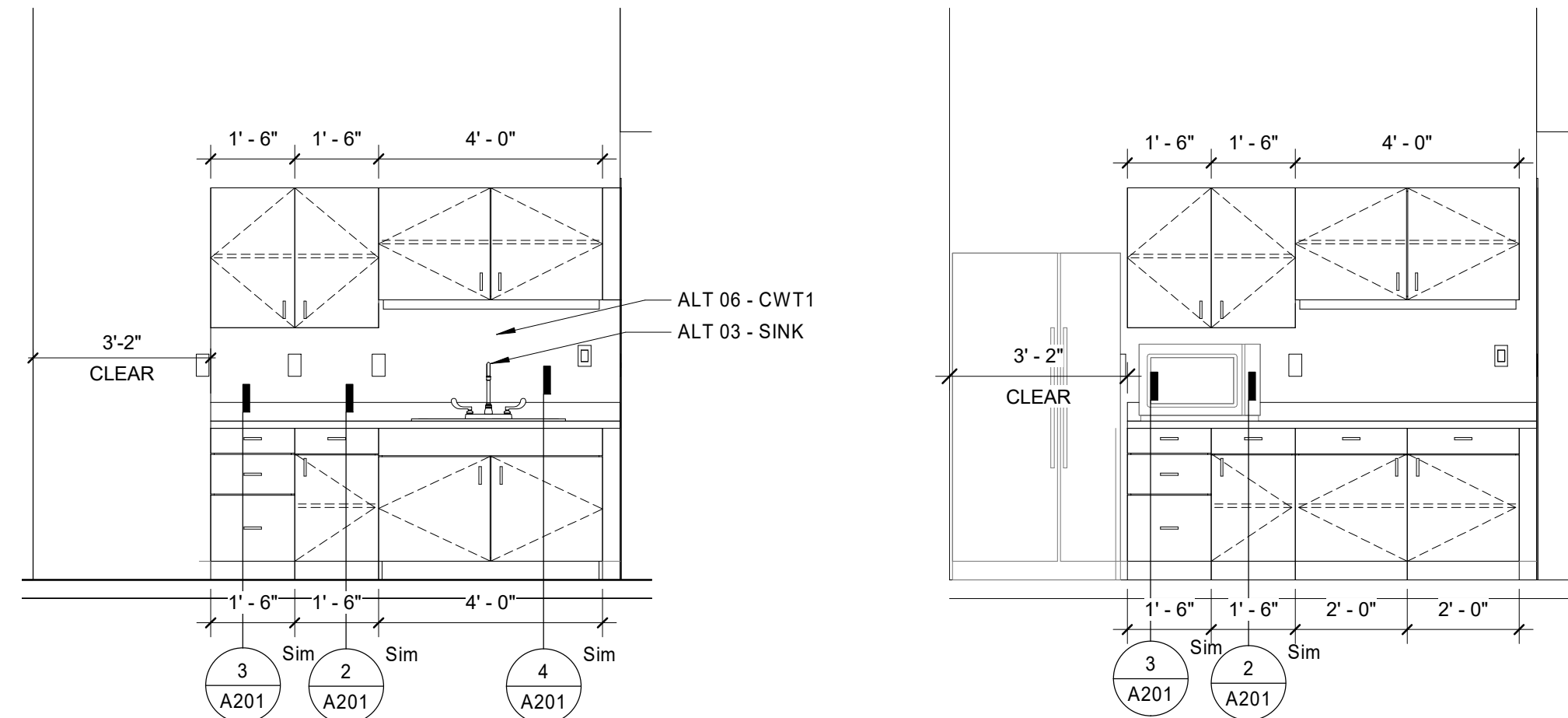
**6 UPPER CABINET - 32"H. WITH LIGHT**  
A201 1 1/2" x 1'-0"



**9 CASEWORK - OPEN ADJUST. SHELVING**  
A201 1 1/2" x 1'-0"



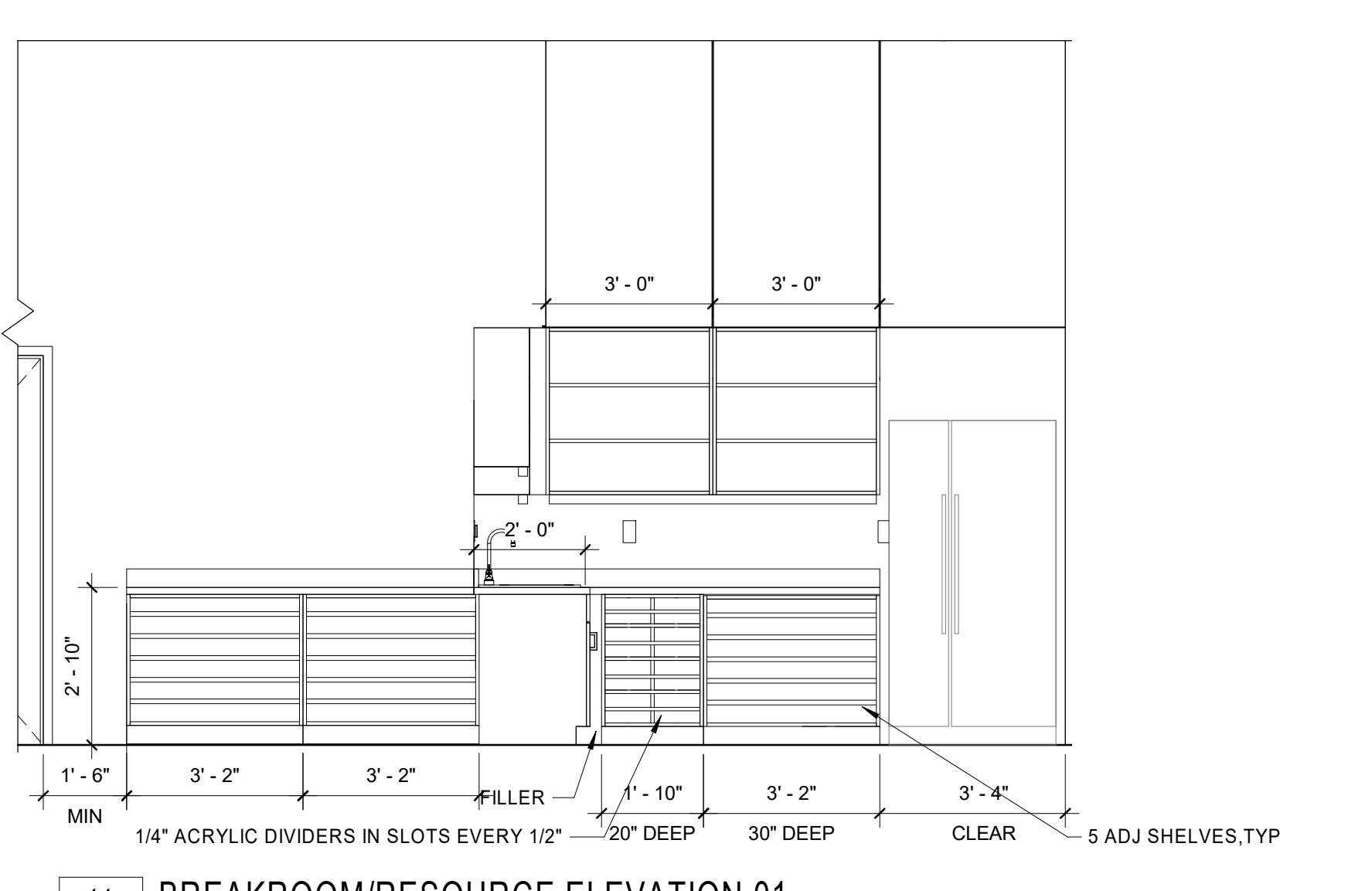
**14 BREAKROOM / WORKROOM 216 - ALT NO. 3**  
A201 3/8" x 1'-0"



**12 BREAKROOM / WORKROOM 216**  
A201 3/8" x 1'-0"



**11 BREAKROOM/RESOURCE ELEVATION 01**  
A201 3/8" x 1'-0"



**15 BREAKROOM/RESOURCE ELEVATION 02**  
A201 3/8" x 1'-0"

**ALTERNATES**

ALTERNATE NO. 1 - DOOR SIDE LITES AND TRANSOMS

- BASE BID: DOORS SHALL NOT HAVE SIDE LITES AND TRANSOMS
- ALTERNATE BID: SIDE LITES AND TRANSOMS AT ALL DOORS AS INDICATED ON DOOR SCHEDULE

ALTERNATE NO. 2 - ACOUSTIC CEILING (APC)

- BASE BID: NO ACOUSTIC CEILING (APC) IN BREAK/RESOURCE 210A
- ALTERNATE BID: ACOUSTIC CEILING (APC) IN BREAK/RESOURCE 210A

ALTERNATE NO. 3 - NEW SINK IN BREAK/WORK ROOM 216

- BASE BID: NO NEW SINK IN BREAK/WORK ROOM 216
- ALTERNATE BID: INSTALL SINK AT BREAK/WORK ROOM 216 (SINGLE BOWL TO MATCH RESOURCE AREA). INCLUDE 48"W SINK BASE CABINET IN LIEU OF (2) 24" W CABINETS

ALTERNATE NO. 4 - OWNER PREFERRED ALTERNATE. PROVIDE OWNER PREFERRED CAMPUS STANDARD HARDWARE ALTERNATE AS SPECIFIED IN SECTION 08 71 00 'DOOR HARDWARE' AND AS FOLLOWS:

- LOCKS AND CYLINDERS: SCHLAGE.
- EXIT DEVICES: VON DUPRIN.
- DOOR CLOSERS: LCN.

ALTERNATE NO. 5 - VINYL WALL COVERING (VWC1 AND VWC2) AND VINYL FILM (VF1) ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FREE SCOPE)

- BASE BID: NO VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FREE SCOPE)
- ALTERNATE BID: VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FREE SCOPE)

ALTERNATE NO. 6 - CWT1 BACKSPLASH IN BREAK/WORK ROOM 216

- BASE BID: NO CWT1 BACKSPLASH IN BREAK/WORK ROOM 216
- ALTERNATE BID: CWT1 BACKSPLASH IN BREAK/WORK ROOM 216



ISSUE FOR: **BID SET**

ISSUE DATE: **03/23/20**

REVISIONS:

NO.	REASON	DATE

**PROJECT TEAM**  
PRINCIPAL IN CHARGE: SR  
PROJECT MANAGER: AS  
DESIGN TEAM: Designer  
PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A

PROJECT NO.: 113-1001-00

SHEET TITLE: INTERIOR ELEVATIONS & MILLWORK DETAILS

SHEET NUMBER: **A201**



EXISTING DOORS TO BE RE-USED: 11 RIGHT HAND SWING (IN) 9 LEFT-HAND SWING (IN) 1 LEFT-HAND SWING (OUT) 1 RIGHT HAND SWING (OUT) 1 LEFT-HAND SWING (IN) (STORAGE DOOR) 3 RIGHT HAND SWING (OUT) (STORAGE DOOR) 1 LEFT-HAND SWING (OUT) (STORAGE DOOR) 1 DOUBLE DOOR (IN)

DOOR SCHEDULE table with columns: Door Number, Type, Width, Height, Thickness, Material, Finish, Rating, Hardware, Type, Frame Material, Finish, Comments. Rows include 201, 210A, 210C, 210D, 210E, 210F, 212, 213A, 213B, 214, 214A, 214B, 214C, 214D, 215, 215A, 215B, 215C, 215D, 215E, 215F, 216, 217, 220, 220A, 220B, 220C, 220D, 220E, 221, 221-A, 221-B, 221C.

DOOR HARDWARE SETS

- HW SET # 1.0: Hinge TA2714US26D MK, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Electric Strike 8300-LBM 630HS, SMART Pac Bridge Rectifier 2005M3 HS, Door Closer 404XP REG AL LC, Kick Plate K1050 8" high HYBEV CSK US32D RO, Door Stop 409441CU 32D/26D RO, Set Door Seals/Silencers S88D/608 AS REQUIRED PE, Wiring Diagram AS REQUIRED OT, ElectroLynx Harness GC-C1500P (@ JAMBS) MK, Card Reader FURNISHED IN OTHER SECTION OT, Power Supply BPS-24 AS REQUIRED SU.

OPERATION: DOOR TO BE CLOSED AND LOCKED AT ALL TIMES. PRESENTATION OF A VALID CARD RELEASES ELECTRIC STRIKE ALLOWING INGRESS. EGRESS AT ALL TIMES BY INSIDE LEVER.

- HW SET # 2.0: Hinge TA2714US26D MK, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Electric Strike 8300-LBM 630HS, SMART Pac Bridge Rectifier 2005M3 HS, Door Closer 404XP CUSH AL LC, Kick Plate K1050 8" high HYBEV CSK US32D RO, Door Stop 409441CU 32D/26D RO, Set Door Seals/Silencers S88D/608 AS REQUIRED PE, Wiring Diagram AS REQUIRED OT, ElectroLynx Harness GC-C1500P (@ JAMBS) MK, Card Reader FURNISHED IN OTHER SECTION OT, Power Supply BPS-24 AS REQUIRED SU.

OPERATION: DOOR TO BE CLOSED AND LOCKED AT ALL TIMES. PRESENTATION OF A VALID CARD RELEASES ELECTRIC STRIKE ALLOWING INGRESS. EGRESS AT ALL TIMES BY INSIDE LEVER.

- HW SET # 3.0: Hinge TA2714US26D MK, Electric Hinge TA2714 x GC US26D MK, Set Auto Flush Bolts 28429242 US26D RO, Dust Proof Strike 570US26D RO, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Electric Strike 8300-LBM 630HS, SMART Pac Bridge Rectifier 2005M3 HS, Coordinator 2600 x FILLER BAR x MTG BRKTSBlack RO, Door Closer 404XP CUSH AL LC, Kick Plate K1050 8" high HYBEV CSK US32D RO, Set Door Seals/Silencers S88D/608 AS REQUIRED PE, ElectroLynx Harness GC-C1500P (@ JAMBS) MK, Card Reader FURNISHED IN OTHER SECTION OT, Power Supply BPS-24 AS REQUIRED SU.

OPERATION: DOORS TO BE CLOSED AND LOCKED AT ALL TIMES. PRESENTATION OF A VALID CARD RELEASES ELECTRIC STRIKE ALLOWING INGRESS. EGRESS AT ALL TIMES BY INSIDE LEVER.

- HW SET # 4.0: Hinge TA2714US26D MK, Office Lock ND50 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Door Stop 409441CU 32D/26D RO, Silencer 608 RO.

- HW SET # 5.0: Hinge TA2714US26D MK, Classroom Lock ND70 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Door Stop 409441CU 32D/26D RO, Silencer 608 RO.

- HW SET # 6.0: Hinge TA2714US26D MK, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Door Closer 404XP REG AL LC, Kick Plate K1050 8" high HYBEV CSK US32D RO, Door Stop 409441CU 32D/26D RO, Set Door Seals/Silencers S88D/608 AS REQUIRED PE.

- HW SET # 6.1: Hinge TA2714US26D MK, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Overhead Stop 10-X36 630RF, Silencer 608 RO.

- HW SET # 7.0: Hinge T4A3786 US26D MK, Storeroom LockND80 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Door Closer 404XP EDA AL LC, Kick Plate K1050 8" high HYBEV CSK US32D RO, Wall Stop 4094US32D RO, Set Door Seals/Silencers S88D/608 AS REQUIRED PE.

- HW SET # 8.0: Office Lock ND50 P D RHO x TEMP CYL 626SC, Cylinder AS REQUIRED/MATCH EXISTING 626SC, Door Stop 409441CU 32D/26D RO.

NOTE: BALANCE OF HARDWARE FURNISHED BY DEMOUNTABLE PARTITION SUPPLIER.

- MANUFACTURERS ABBREVIATIONS: 1. MK - McKinley, 2. RO - Rockwood, 3. SC - Schlage, 4. HS - HES, 5. LC - LCN Closers, 6. PE - Permco, 7. OT - OTHER, 8. SU - Securitron

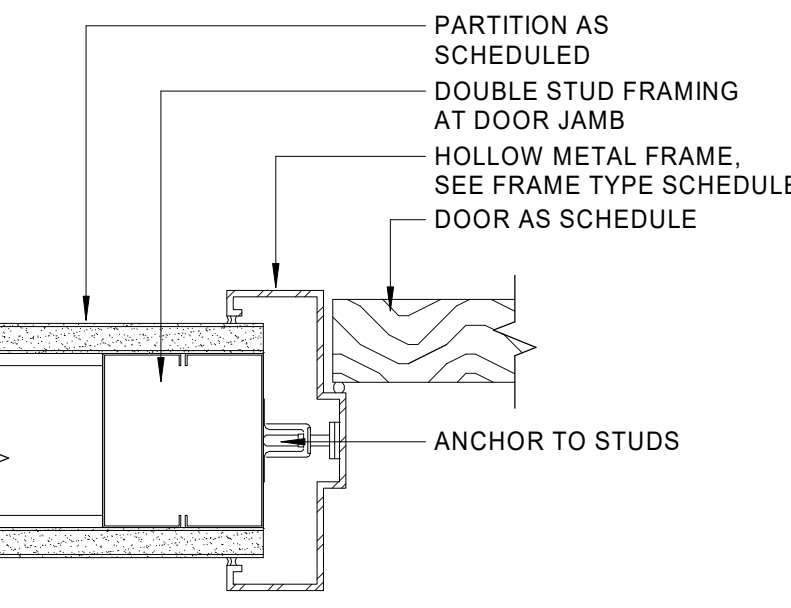
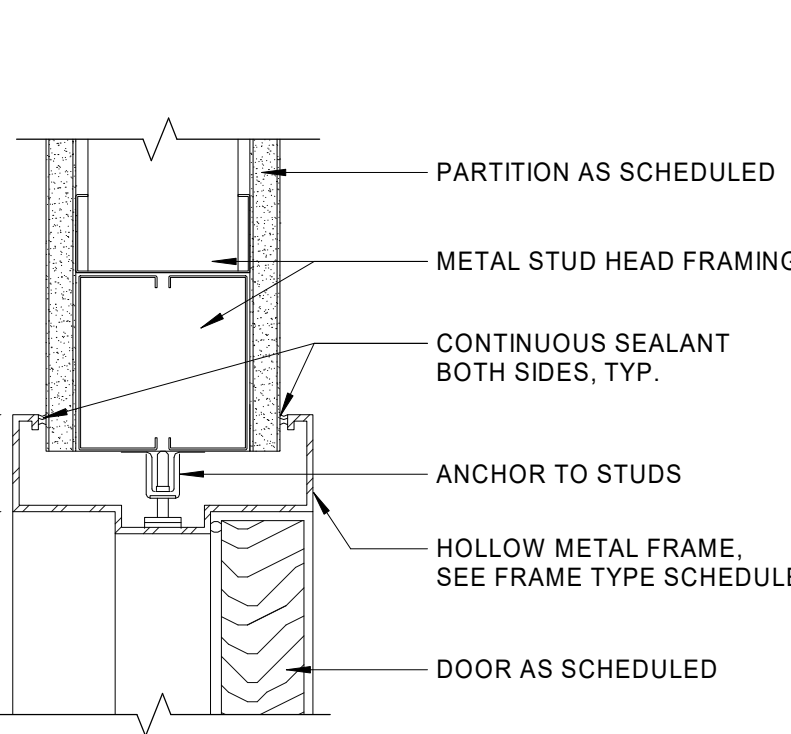
GENERAL NOTES - DOORS

- 1. CAULK DOOR JAMBS AND HEADS AT DOORS LOCATED IN WALLS TO BE SOUND INSULATED. 2. HOLLOW METAL DOOR FRAMES TO BE FULLY WELDED FRAMES. 3. CAULK DOOR JAMBS AND HEADS WHERE GAPS, BETWEEN WALL AND FRAME EXCEEDS 1/16". 4. PROVIDE (3) JAMB AND (1) BASE ANCHOR PER JAMB AT GYP. BOARD PARTITIONS. 5. DOORS SHALL OPERATE FREELY WITHOUT BINDING. 6. FRAME ROUGH OPENINGS AS RECOMMENDED BY METAL STUD MFR. AND DOOR FRAME MFR. 7. PROVIDE ANCHORS AND ACCESSORIES AS REQ'D. FOR CONDITIONS & PER MFR. RECOMMENDATIONS. 8. DOOR FRAMES SHALL BE SECURED RIGIDLY IN PLACE AND BRACED TO FLOOR AND STRUCTURE ABOVE TO PREVENT BREAK OUT TO PARTITIONS. 9. DOORS TO BE LOCATED 6" FROM FACE OF WALL INCLUDING DOOR FRAME, U.O.N. 10. ERECT ALL DOOR FRAMES AND ADJACENT WALLS TO CONFORM TO THE APPLICABLE PLAN CONFIGURATION. NOTIFY LITTLE OF ANY CONFLICTS PRIOR TO INSTALLATION OF DOOR FRAMES AND ADJACENT WALLS DURING TRACK LAYOUT. 11. COORDINATE WITH SECURITY SYSTEM, SECURITY RISER DIAGRAM AND FIRE ALARM SYSTEM. 12. DOOR UNDERCUTS SHALL BE KEPT TO A MINIMAL DIMENSION AND SHALL BE UNIFORM THROUGHOUT PROJECT, U.O.N. 13. AT DOORS WITH LOCKING MECHANISMS PROVIDE A PUSH BUTTON LOCK WITH DEPRESSION OF LEVER TO UNLOCK.

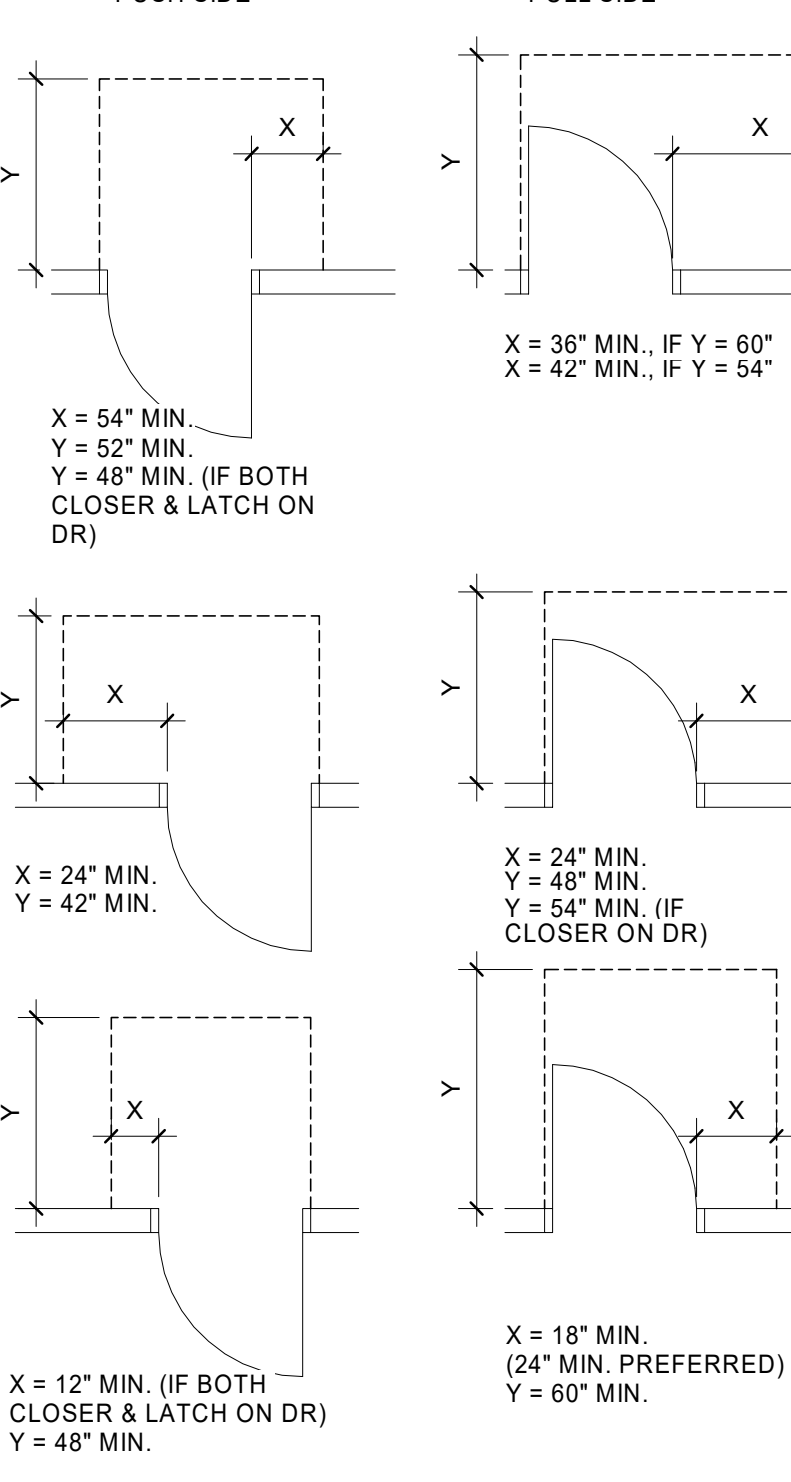
ALTERNATES

- ALTERNATE NO. 1 - DOOR SIDE LITES AND TRANSOMS a. BASE BID: DOORS SHALL NOT HAVE SIDE LITES AND TRANSOMS ON DOOR SCHEDULE b. ALTERNATE BID: SIDE LITES AND TRANSOMS AT ALL DOORS AS INDICATED ON DOOR SCHEDULE ALTERNATE NO. 2 - ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A a. BASE BID: NO ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A b. ALTERNATE BID: ACOUSTIC CEILING (APC2) IN BREAK/RESOURCE 210A ALTERNATE NO. 3 - NEW SINK IN BREAK/ WORK ROOM 216 a. BASE BID: NO NEW SINK IN BREAK/ WORK ROOM 216 b. ALTERNATE BID: INSTALL SINK AT BREAK/ WORK ROOM 216 (SINGLE BOWL TO MATCH RESOURCE AREA). INCLUDE 4" W SINK BASE CABINET IN LIEU OF (2) 24" W CABINETS ALTERNATE NO. 4 - OWNER PREFERRED ALTERNATE. PROVIDE OWNER PREFERRED CAMPUS STANDARD HARDWARE ALTERNATE AS SPECIFIED IN SECTION 08 71 00 'DOOR HARDWARE' AND AS FOLLOWS: 1. LOCKS AND CYLINDERS: SCHLAGE. 2. EXIT DEVICES: VON DUPRIN. 3. DOOR CLOSERS: LCN. ALTERNATE NO. 5 - VINYL WALL COVERING (VWC1 AND VWC2) AND VINYL FILM (VF1) ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE) a. BASE BID: NO VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND NO VINYL FILM (VF1) ON DEMOUNTABLES b. ALTERNATE BID: VINYL WALL COVERING (VWC1 AND VWC2) IN RESOURCE 210 ON BULKHEAD AND VINYL FILM (VF1) ON DEMOUNTABLES (DEMOUNTABLES ARE IN FF&E SCOPE) ALTERNATE NO. 6 - CWT1 BACKSPLASH IN BREAK/WORK ROOM 216 a. BASE BID: NO CWT1 BACKSPLASH IN BREAK/WORK ROOM 216 b. ALTERNATE BID: CWT1 BACKSPLASH IN BREAK/WORK ROOM 216

INTERIOR HM FRAME

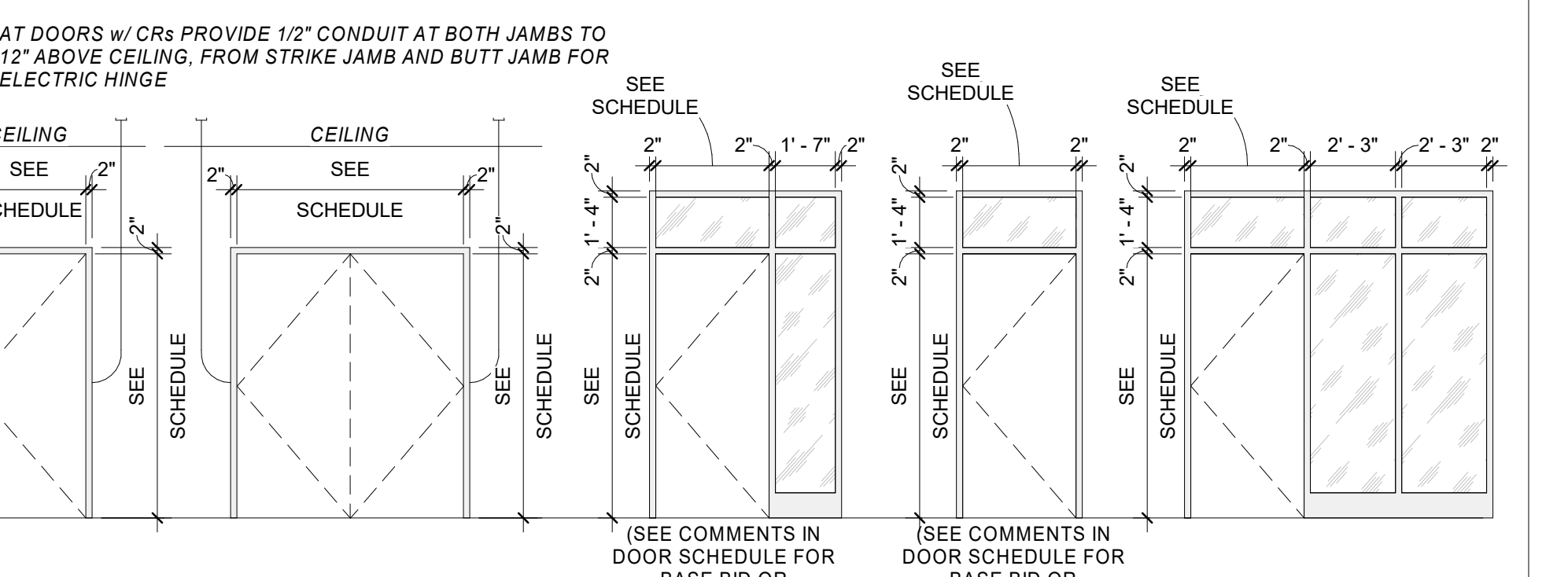


ADA DOOR CONFIGURATIONS



NOTE: ERECT ALL DOOR FRAMES AND ADJACENT WALLS PER APPLICABLE PLAN CONFIGURATION. NOTIFY ARCHITECT OF CONFLICTS PRIOR TO INSTALLATION OF DOOR FRAMES AND/OR ADJACENT WALLS.

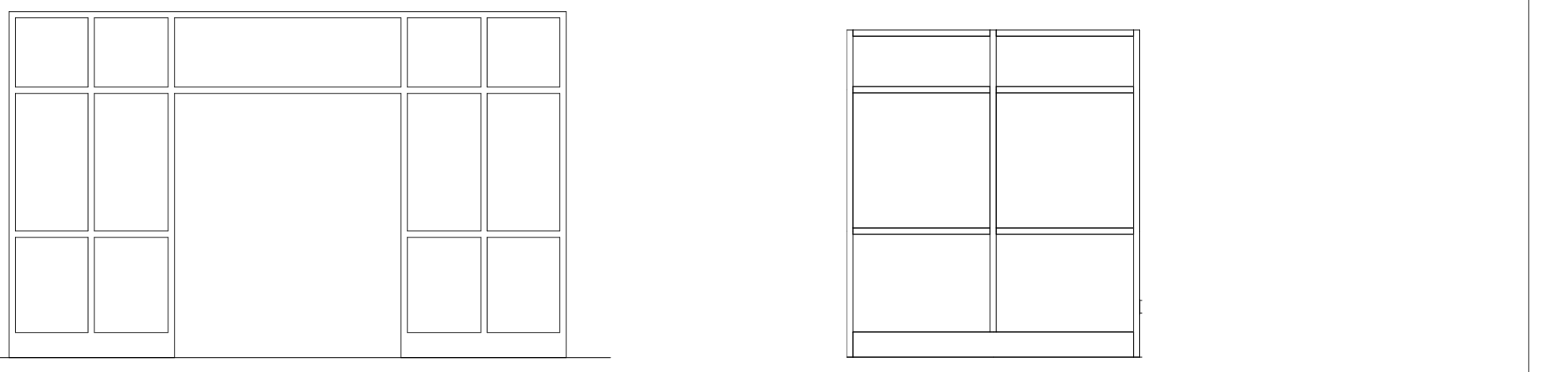
FRAME TYPES



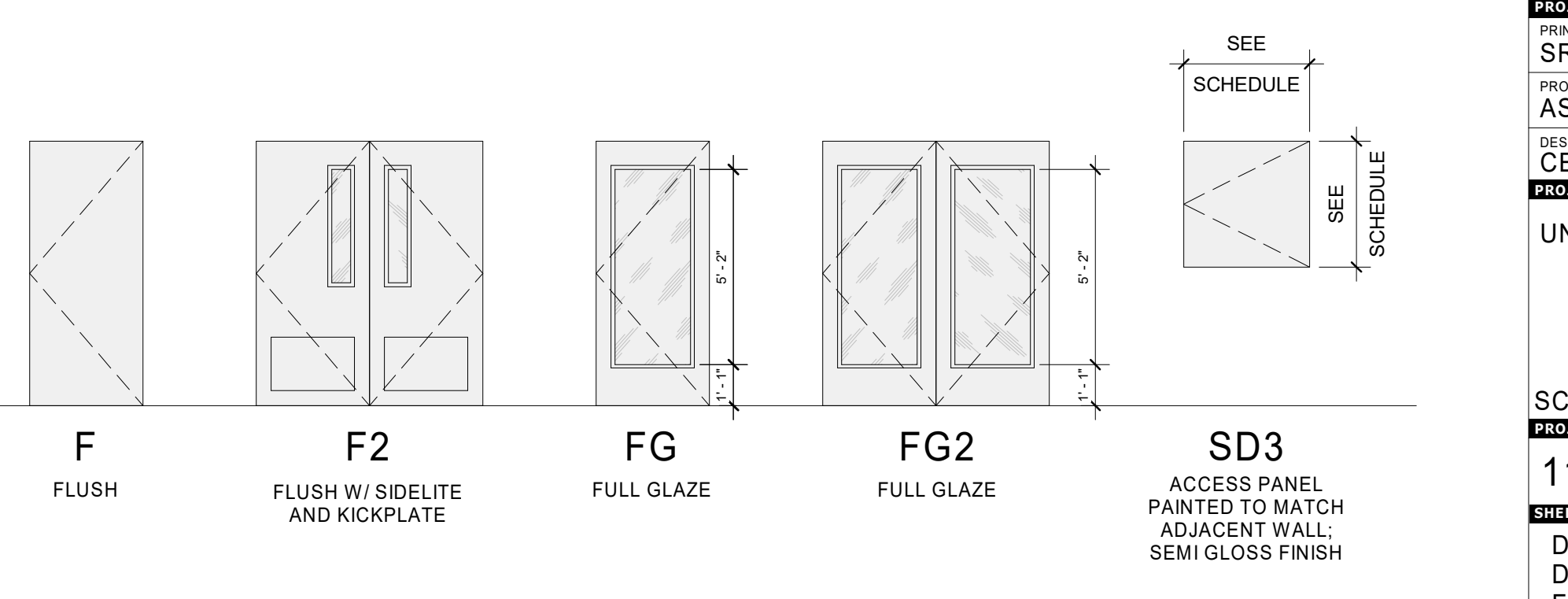
- F1: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH. F2: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH. FA1: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH. FA2: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH. F3: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH.

F4

- F4: HOLLOW METAL PAINTED TO MATCH ADJACENT WALL; SEMI GLOSS FINISH.



DOOR TYPES



ISSUE FOR BID SET

ISSUE DATE: 03/23/20

REVISIONS table with columns: NO., REASON, DATE.

PROJECT TEAM: PRINCIPAL IN CHARGE SR, PROJECT MANAGER AS, DESIGN TEAM CE. PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A

PROJECT NO. 113-1001-00

SHEET TITLE: DOOR SCHEDULE, DOOR TYPES AND FRAME TYPES

SHEET NUMBER: A900