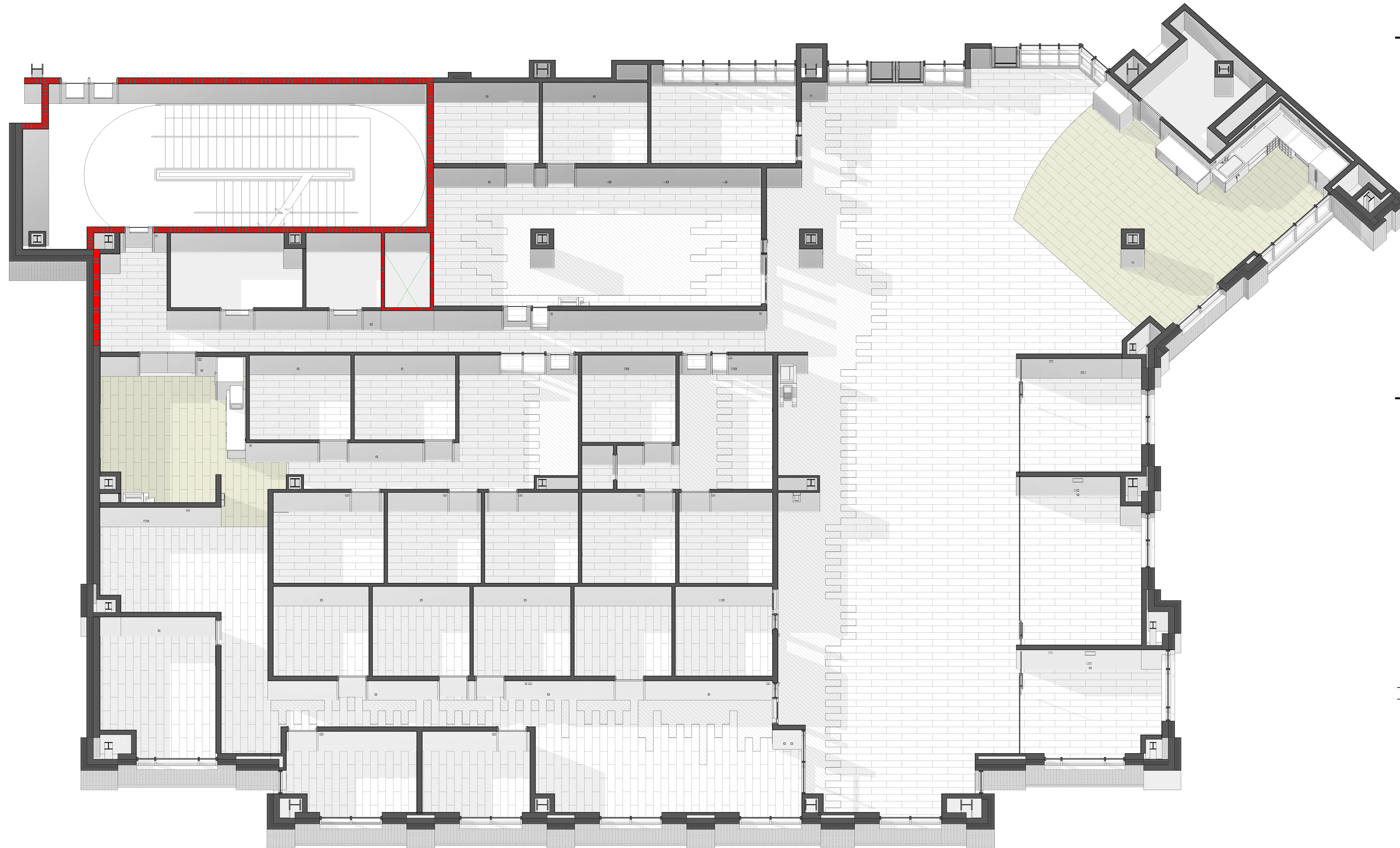


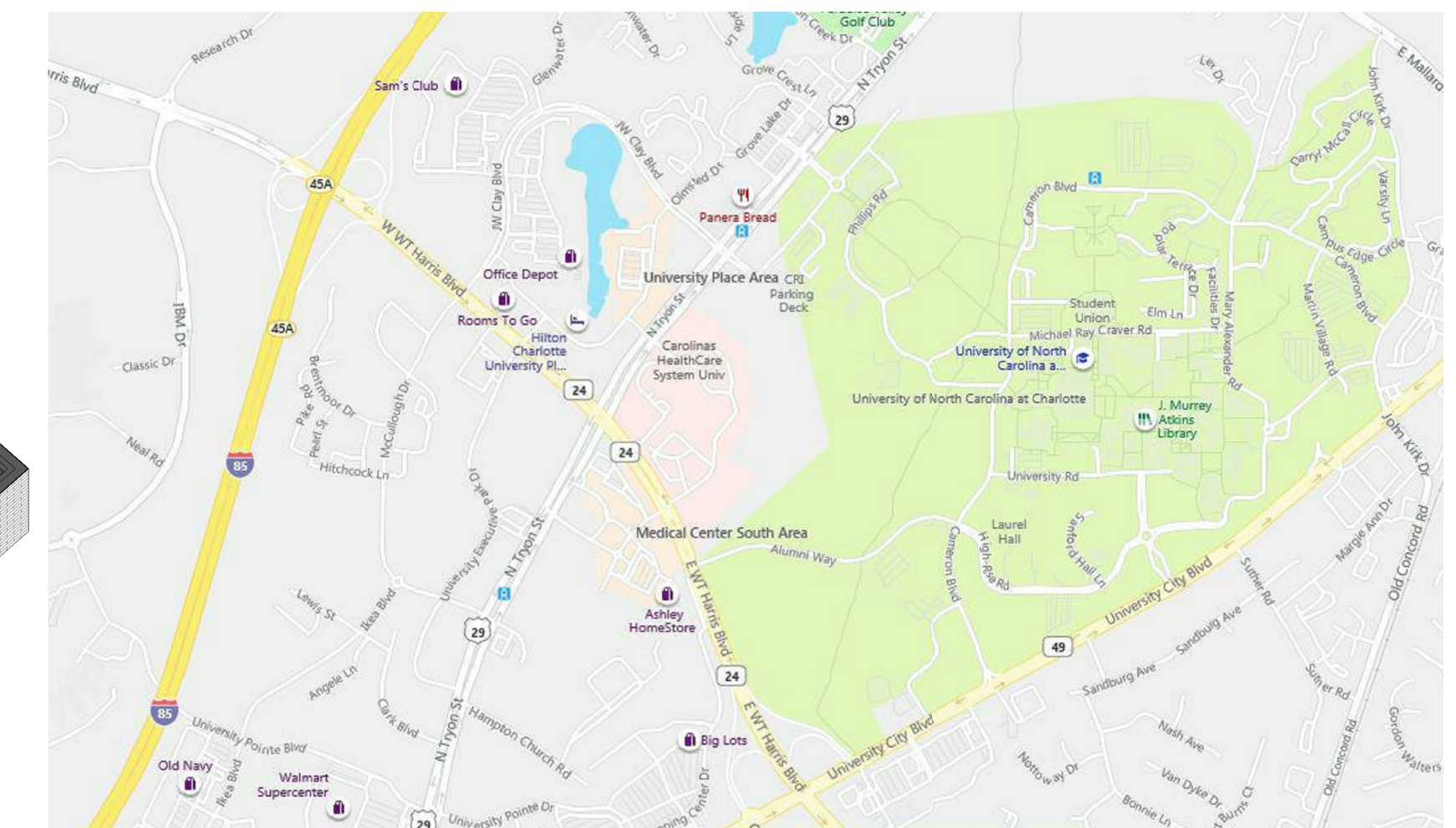
UNCC-SGO RENOVATIONS

STUDENT GOVERNMENT OFFICE, STE 200
 UNC CHARLOTTE - POPP MARTIN STUDENT UNION
 9201 UNIVERSITY CITY BLVD.
 CHARLOTTE, NC 28223
BID SET - 03/23/20

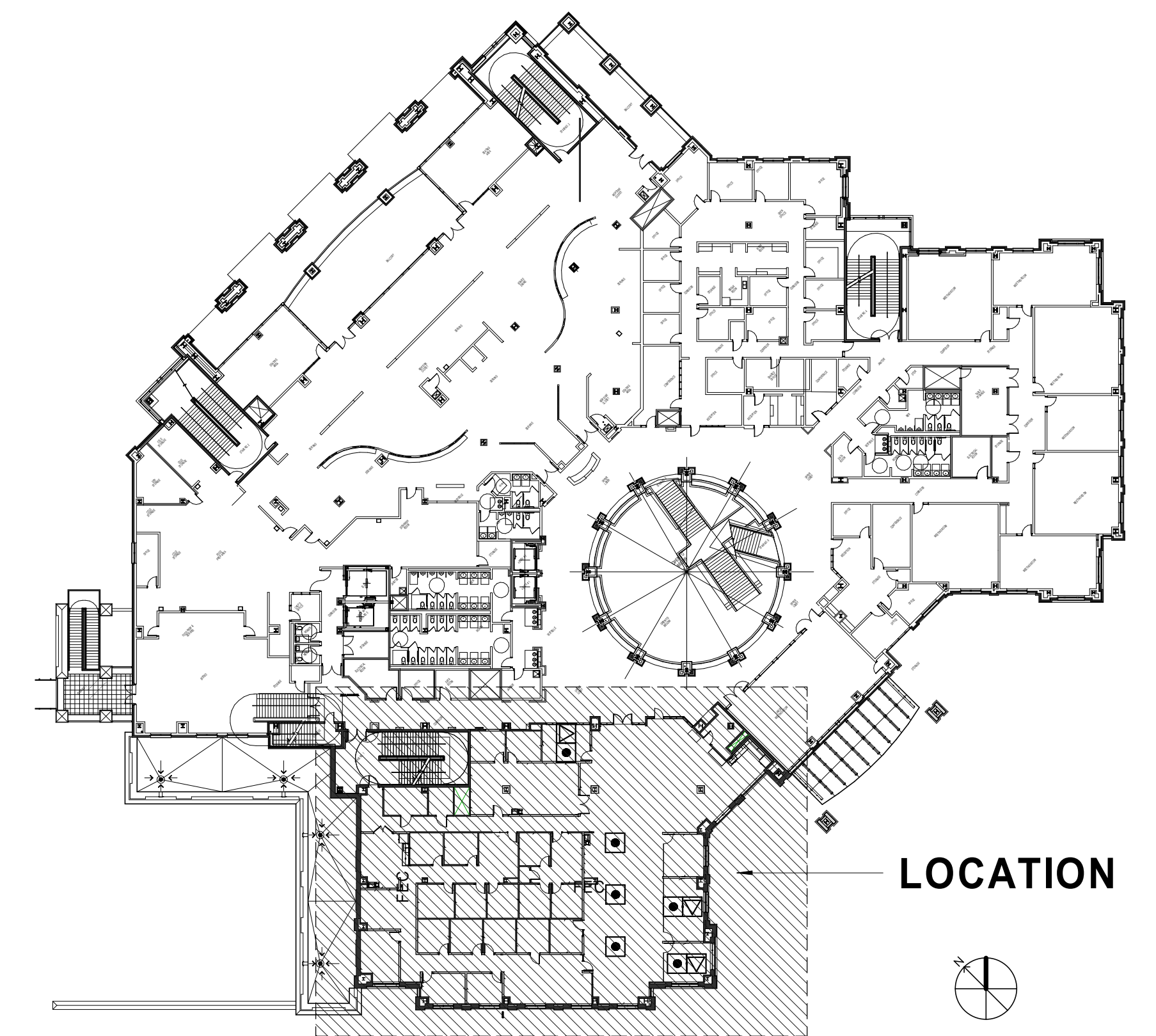
SCO PROJECT #18-18336-01A



VACINITY MAP



LOCATION MAP



LOCATION

OWNER
 UNC CHARLOTTE
 9201 UNIVERSITY CITY BLVD.
 CHARLOTTE, NC 28223
 704-687-0534
 AMANDA CAUDLE

ARCHITECT
 LITTLE
 615 SOUTH COLLEGE ST, STE 1600
 CHARLOTTE, NC 28202
 704-561-3205
 SHANNON RYDELL

PLUMBING
 MCCrackEN & LOPEZ
 8801 J.M. KEYNES DRIVE, STE 240
 CHARLOTTE, NC 28262
 704-376-7072
 JAMES CURRIE

MECHANICAL
 MCCrackEN & LOPEZ
 8801 J.M. KEYNES DRIVE, STE 240
 CHARLOTTE, NC 28262
 704-376-7072
 JAMES CURRIE

ELECTRICAL
 MCCrackEN & LOPEZ
 8801 J.M. KEYNES DRIVE, STE 240
 CHARLOTTE, NC 28262
 704-376-7072
 GAIL CRAIG

FIRE PROTECTION
 MCCrackEN & LOPEZ
 8801 J.M. KEYNES DRIVE, STE 240
 CHARLOTTE, NC 28262
 704-376-7072
 JAMES CURRIE

NO.	REASON	DATE

PRINCIPAL IN CHARGE
 SR
 PROJECT MANAGER
 AS
 DESIGN TEAM
 CE

UNCC-SGO RENOVATIONS

F
 E
 D
 C
 B
 A

ABBREVIATIONS

Abbr.	Abbreviated Phrase	Abbr.	Abbreviated Phrase	Abbr.	Abbreviated Phrase
ACT	ACOUSTIC CEILING TILE	FOS	FACE OF SHEATHING	PEP	PEDESTAL, PEDESTRIAN, PEDIATRIC
ADA	AMERICANS WITH DISABILITIES ACT	FR	FIRE RETARDANT TREATED	PERF	PERFORATED
ADJ	ADJUSTABLE	FT	FOOT, FEET	PFB	PREFABRICATED(D)
AED	AUTOMATED EXTERNAL DEBRILLATOR	FURR	FURR(ED), (ING)	PFN	PREFINISHED(ED)
AFF	ABOVE FINISH FLOOR	FUT	FUTURE	PL, PLAM	PLASTIC LAMINATE
AL	ALUMINUM	FWC	FABRIC WALL COVERING	PLAS	PLASTER, PLASTIC
ALT	ALTERNATE	FWP	FABRIC WRAPPED PANEL	PLYWD	PLYWOOD
AMC	ACOUSTICAL METAL CEILING	GA	GAUGE	PNL	PANEL
APPROX	APPROXIMATE	GALV	GALVANIZED	PNT	PAINT(ED)
ARCH	ARCHITECTURAL	GB	GLASS BOARD	PR	PAIR
AWC	ACOUSTICAL WOOD CEILING	GC	GENERAL CONTRACTOR	PT	PRESSURE TREAT(ED)
		GL	GLASS, GLAZING	PTN	PARTITION
		GR	GROUT	QT	QUARRY TILE, QUART
BBD	BULLETIN BOARD	GRAN	GRANITE	RB	RUBBER BASE
BD	BOARD	GWB	GYPSPUM WALL BOARD	RBT	RUBBER TILE
BO	BOTTOM OF	GYP	GYPSPUM	REC	RECEPTACLE
BOT	BOTTOM			REF	REFERENCE, REFER
		HC	HOLLOW CORE	REFR	REFRIGERATOR
CL, CL	CENTERLINE	HD	HAND DRYER	REQD	REQUIRED
CAB	CABINET	HR	HEADER	RM	ROOM
CC	CUBICLE CURTAIN	HRZ	HORIZONTAL(LY)	RS	RESILIENT
CIR	CIRCLE	HR	HOUR	S&R	SHELF AND ROD
CLG	CEILING	HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	SCW	SOLID CORE WOOD
CLOS	CLOSET	HWD	HARDWOOD	SECT	SECTION
CLR	CLEARANCE	IBC	INTERNATIONAL BUILDING CODE	SF	SQUARE FEET
COL	COLUMN	ID	INSIDE DIAMETER	SFRM	SPRAYED FIRE RESISTIVE MATERIAL
CON	CONCRETE	INCL	INCLUDE(D), (ING)	SHR	SHOWER
CONC	CONCRETE	INSUL	INSULATE(D), (ING)	SIM	SIMILAR
CONST	CONSTRUCTION	INT	INTERIOR	SPEC	SPECIFICATION(S)
CONT	CONTINUOUS / CONTINUE	JAN	JANITOR'S CLOSET	SS	STAINLESS STEEL
CONTR	CONTRACTOR	JT	JOINT	SSM	SOLID SURFACE MATERIAL
COORD	COORDINATE	KIT	KITCHEN	ST	STONE
CPT	CARPET	KPL	KICK PLATE	STD	STANDARD
CRB	COVERED RUBBER BASE	L	LENGTH	STOR	STORAGE
CT	CERAMIC OR PORCELAIN TILE	LAM	LAMINATE(D)	SUSP	SUSPENDED
CTR	CENTER	LBL	LABEL	SUSP CLG	SUSPENDED CEILING
		LCKR	LOCKER	SV	SHEET VINYL
D	DRYER	LIN	LINOLEUM	SYS	SYSTEM
DBL	DOUBLE	LT	LIGHT	TEMP	TEMPERED, TEMPORARY
DEG	DEGREE	LVL	LAMINATED VENEER LUMBER	TM	TO MATCH EXISTING
DEMO	DEMOLISH / DEMOLITION	LVT	LUXURY VINYL TILE	TYP	TYPICAL
DET, DTL	DETAIL	MATL	MATERIAL(S)	UNO	UNLESS NOTED OTHERWISE
DIA	DIAMETER	MAX	MAXIMUM	VB	VINYL BASE
DM	DIMENSION	MB	MARKER BOARD	VCT	VINYL COMPOSITE TILE
DR	DOOR	MCH	MECHANICAL	VERT	VERTICAL(LY)
DS	DOWNSPOUT	MFR	MANUFACTURE(R)	VIF	VERIFY IN FIELD
DWG	DRAWING(S)	MIN	MINIMUM	VIN	VINYL
DWN	DOWN	MISC	MISCELLANEOUS	VT	VINYL TILE
DWR	DRAWER	MP	MOUNTED	VWC	VINYL WALL COVERING
		MTD	MOUNTED	W	WIDTH
EA	EACH	MTL	METAL	W/	WITH
EL	ELEVATION	MULL	MULLION	WO	WITHOUT
ELEC	ELECTRICAL	MWK	MILLWORK	WB	WOOD BASE
ELEV	ELEVATOR	N	NORTH	WC	WATER CLOSET
EOS	EDGE OF SLAB	NIC	NOT IN CONTRACT	WD	WOOD
EP	EPOXY FLOORING	NO, #	NUMBER	WGT	WEIGHT
EQ	EQUAL(LY)	NR	NOISE REDUCTION	WIN	WINDOW
EQPT	EQUIPMENT	NRC	NOISE REDUCTION COEFFICIENT	WTW	WALL TO WALL
EW	EACH WAY	NTS	NOT TO SCALE		
EWV	ELECTRIC WATER COOLER	OC	ON CENTER		
EXIST	EXISTING	OFF	OFFICE		
EXP	EXPANSION	OH	OPPOSITE HAND		
EXT	EXTERIOR	OPNG	OPENING		
FAAP	FIRE ALARM ANNUNCIATOR PANEL				
FBO	FURNISHED BY OTHERS				
FE	FIRE EXTINGUISHER				
FEC	FIRE EXTINGUISHER CABINET				
FF	FINISH FLOOR				
FIN	FINISHED				
FLR	FLOOR(ING)				
FLUOR	FLUORESCENT				
FO	FACE OF				
FOB	FACE OF BRICK				
FOG	FACE OF GLASS				

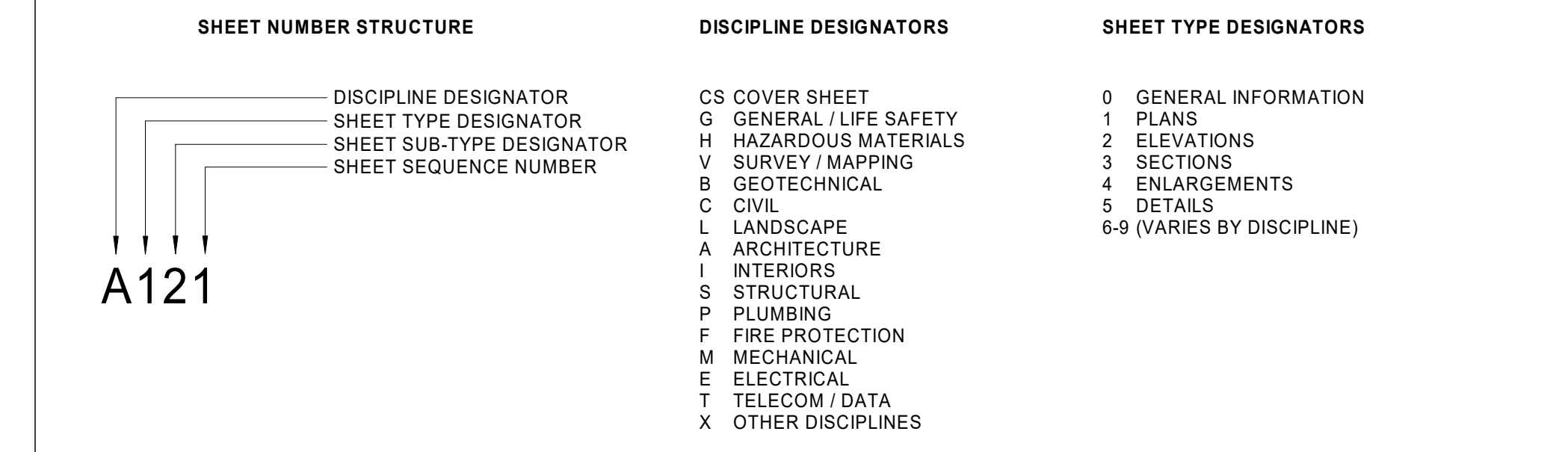
GENERAL NOTES

1. WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
2. SEE SHEET A111 FOR PARTITION TYPES.
3. SEE SHEET A300 FOR DOOR TYPES AND DETAILS.
4. PROVIDE CONTROL JOINTS ON GYP BD. ASSEMBLIES PER SPECIFICATIONS AND WHERE SHOWN.
5. EXTEND WALLS TO DECK ABOVE STOREFRONT SYSTEMS AND GLASS WALL PARTITIONS.
6. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD WALL CAVITIES.
7. WHERE NEW PARTITION ALIGNS WITH THE FACE OF AN EXISTING FURRED COLUMN OR PARTITION, REMOVE CORNER BEAD, TAPE AND SPACKLE NEW PARTITION TO EXISTING GYPSPUM BOARD.
8. ALL EXISTING WALL SURFACES AND PARTITIONS TO REMAIN SHALL BE PATCHED, SPACKLED AND SANDED SMOOTH SO AS NOT TO LEAVE ANY EVIDENCE OF DEMOLITION OR REPAIR WORK. PREPARE SURFACES AS REQUIRED.
9. PROVIDE RECESSED FIRE EXTINGUISHER CABINETS, SMOKE DETECTORS, AND ALL OTHER LIFE SAFETY DEVICES AS REQUIRED BY CODE. PROVIDE DRAWING NUMBER, LOCATION, AND SPECIFICATION OF SUCH DEVICES FOR L&AA REVIEW PRIOR TO FRAMING OF WALLS. DO NOT PLACE IN FIRE RATED PARTITIONS.
10. ALL WORK SHALL CONFORM TO THE CONTRACT DOCUMENTS WHICH INCLUDE THE OWNER/CONTRACTOR AGREEMENT, THE PROJECT MANUAL (WHICH CONTAINS THE GENERAL CONDITIONS, AND THE SPECIFICATIONS), THE DRAWINGS AND ALL ADDENDA AND MODIFICATIONS ISSUED BY THE ARCHITECT.
11. THE CONTRACTOR SHALL REVIEW DOCUMENTS AND VERIFY DIMENSIONS AND FIELD CONDITIONS WHEN APPLICABLE. CONFIRM THAT WORK IS BUILDABLE AS SHOWN. ANY CONFLICTS OR OMISSIONS SHALL BE IMMEDIATELY REPORTED TO THE ARCHITECT FOR CLARIFICATION PRIOR TO THE PERFORMANCE OF WORK IN QUESTIONS.
12. CONTRACTOR SHALL COORDINATE WITH TENANT THE SCHEDULE FOR ALL TELEPHONE COMPANY AND DATA INSTALLATIONS.
13. "ALIGN" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
14. CONTRACTOR SHALL COORDINATE AND PROVIDE METAL BACKING PLATES OR SOLID WOOD BLOCKING (FIRE TREATED) IN PARTITIONS AND CEILING FOR ALL MILLWORK, WALL AND CEILING ATTACHED ITEMS AS REQUIRED BY EACH SPECIFIC ITEM.
15. ALL WORK NOTED "BY OTHERS" OR "NIC" SHALL BE PROVIDED BY OWNER OR UNDER SEPARATE CONTRACT.
16. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS GOVERN. ALL PARTITION LOCATIONS, DIMENSIONS AND TYPES, ALL DOOR AND WINDOW LOCATIONS SHALL BE AS SHOWN ON PARTITION PLAN. IN CASE OF CONFLICT, NOTIFY ARCHITECT. PARTITION PLAN BY DESIGN INTENT ARCHITECT SUPERSEDES OTHER PLANS.
17. ALL PARTITION TYPES ARE US3B-S, UNLESS OTHERWISE NOTED.
18. ALL PARTITIONS ARE DIMENSIONED FROM FINISH FACE TO FINISH FACE, UNLESS OTHERWISE NOTED. ALL DIMENSIONS MARKED "CLEAR" SHALL BE MAINTAINED AND SHALL ALLOW FOR THICKNESS OF ALL FINISHES INCLUDING CARPET, CERAMIC TILE, VCT, ETC.
19. COLUMN CENTER LINES (OR GRID LINES) ARE SHOWN FOR DIMENSIONING. VERIFY EXACT LOCATIONS IN FIELD.
20. PARTITION TYPES ENCLOSING ROOMS AND SPACES SHALL BE CONTINUOUS THROUGHOUT ENTIRE ROOM OR SPACE.
21. PROVIDE ACOUSTICAL CALKING AROUND ALL PERIMETER EDGES AND/OR PENETRATIONS AT SOUND INSULATED WALLS. OFFSET ELECTRICAL AND TELEPHONE OUTLETS 16" MINIMUM IN SEPARATE STUD CAVITIES.
22. WHERE ADJACENT PARTITION TYPES ARE OF DIFFERENT OVERALL THICKNESS, ALIGN FINISHES ON VISIBLE SIDE, AND FURR OPPOSITE SIDE AS REQUIRED FOR A FLUSH INSTALLATION.
23. BRACE ALL CHASE WALLS FROM STUD TO STUD AT 4" OC MIN. VERTICAL AND PER MANUFACTURER'S RECOMMENDATION UNLESS NOTED OTHERWISE.
24. PROVIDE STEEL STUD GAUGES AND/OR DIAGONAL BRACING AT TOPS OF WALLS PER MANUFACTURER'S RECOMMENDATIONS FOR WALL TYPE, HEIGHT, AND USE BASED ON U240 LIMITING HEIGHTS.
25. PROVIDE CONTINUOUS HORIZONTAL BRIDGING FOR WALLS EXTENDING 10'-0" OR GREATER IN HEIGHT FROM FINISH FLOOR.

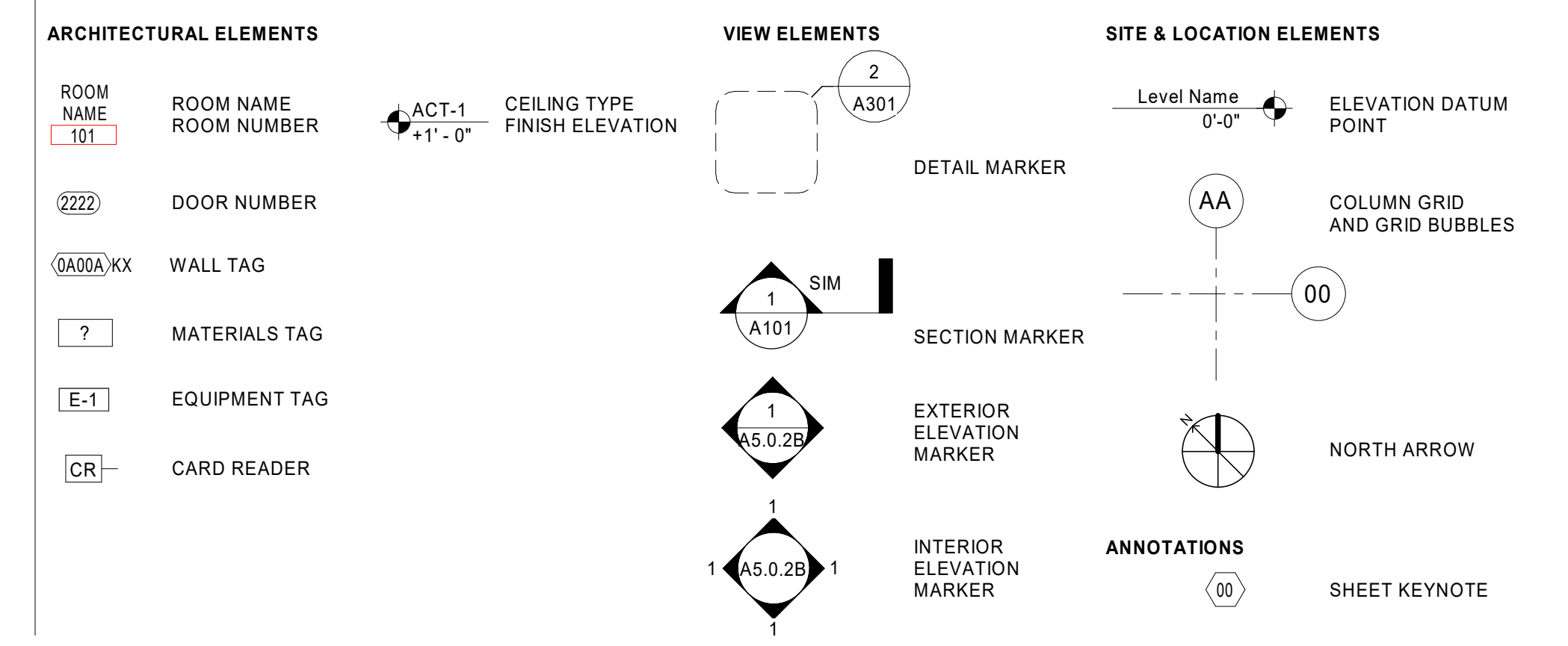
LIST OF DRAWING SHEETS

Sheet Number	Sheet Name	Current Revision	Sheet Number	Sheet Name	Current Revision
00 - COVERSHEET			06 - MECHANICAL		
CS	COVER SHEET		M001	MECHANICAL SYMBOLS, SCHEDULES, NOTES, AND DRAWING INDEX	
01 - GENERAL / LIFE SAFETY			M002	MECHANICAL CONTROLS	
G001	GENERAL INFORMATION AND SHEET INDEX		M003	MECHANICAL DETAILS	
G002	BUILDING CODE SUMMARY		M101	LEVEL 2 FLOOR PLAN - MECHANICAL DUCTWORK-DEMOLITION AND NEW WORK	
G111	LIFE SAFETY PLAN - LEVEL 01		M102	LEVEL 2 FLOOR PLAN - MECHANICAL PIPING-DEMOLITION AND NEW WORK	
04 - ARCHITECTURE			07 - PLUMBING		
AD111	DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN		P101	LEVEL 2 FLOOR PLAN -PLUMBING-DEMOLITION AND NEW WORK	
A111	PARTITION TYPES AND FLOOR PLAN - LEVEL 02		P101A	ALTERNATE No. 3 -- LEVELS 0-2 PLUMBING FLOOR PLANS	
A121	REFLECTED CEILING PLAN - LEVEL 02				
A201	INTERIOR ELEVATIONS & MILLWORK DETAILS		08 - FIRE PROTECTION		
A900	DOOR SCHEDULE, DOOR TYPES AND FRAME TYPES		FP001	FIRE PROTECTION SYMBOLS, SCHEDULES, NOTES AND DRAWING INDEX	
			FP101	LEVEL 2 FLOOR PLAN -FIRE PROTECTION - DEMOLITION AND NEW WORK	
			011 - ELECTRICAL		
			E001	ELECTRICAL SYMBOLS AND NOTES	
			E002	EXISTING POWER RISER DIAGRAM	
			E003	ELECTRICAL SCHEDULES AND DETAILS	
			E004	LIGHTING FIXTURE SCHEDULE AND DETAILS	
			E111	LEVEL 2 FLOOR PLAN - POWER & SPECIAL SYSTEMS	
			E121	LEVEL 2 FLOOR PLAN - LIGHTING	
			ED111	LEVEL 2 FLOOR PLANS - DEMOLITION	

SHEET NUMBERING LEGEND



SYMBOLS



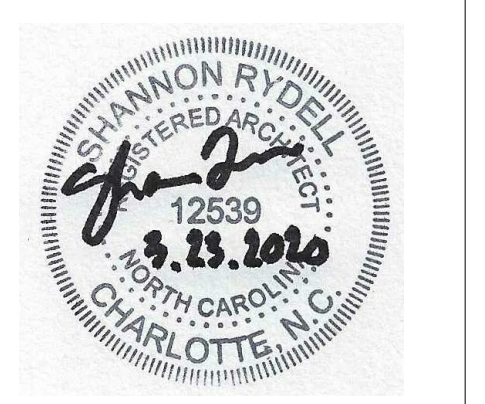
615 South College Street
 Charlotte, NC 28202
 T: 704.525.9350

www.littleonline.com

This drawing and the design shown are the property of Little Overseas Architectural Consulting. The reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.



8801 J.M. Keynes Drive, Ste. 240
 Charlotte, NC 28262
 704.576-7072 (License No. C-0503)



ISSUE FOR BID SET

ISSUE DATE: 03/23/20

NO.	REASON	DATE

PROJECT TEAM
PRINCIPAL IN CHARGE: SR
PROJECT MANAGER: AS
DESIGN TEAM: CE

PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A

SHEET NUMBER: 113-1001-00

SHEET TITLE: GENERAL INFORMATION AND SHEET INDEX

SHEET NUMBER: G001

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

(EXCEPT 1 AND 2-FAMILY DWELLINGS AND TOWNHOUSES)
(REPRODUCE THE FOLLOWING DATA ON THE BUILDING PLANS SHEET 1 OR 2)
NAME OF PROJECT: **UNCC-SGO RENOVATIONS**
ADDRESS: **9201 UNIVERSITY CITY BLVD., CHARLOTTE, NC** ZIP CODE: **28223**
OWNER/AUTHORIZED AGENT: **AMANDA CAULDE**
PHONE NUMBER: **(704) 687-0534**
E-MAIL: **afelock@uncc.edu**
OWNED BY: Private City County State Other
CODE ENFORCEMENT JURISDICTION: City County State

PRIMARY POINT OF CONTACT:
NAME: **SHANNON RYDELL**
COMPANY: **Little Diversified Architectural Consulting** PHONE NUMBER: **(704) 561-3205**
EMAIL: **shannon.rydell@littleonline.com**

Architect of Record:
NAME: **SHANNON RYDELL** LICENSE NUMBER: **12539**
COMPANY: **Little Diversified Architectural Consulting** PHONE NUMBER: **(704) 561-3205**
EMAIL: **shannon.rydell@littleonline.com**

Civil Engineer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

Electrical Engineer of Record:
NAME: **GAIL ENGLISH CRAIG** LICENSE NUMBER: **18459**
COMPANY: **McCracken & Lopez** PHONE NUMBER: **(704) 376-7072**
EMAIL: **johnt@mccrackenlopez.com**

Fire Protection Engineer of Record:
NAME: **JAMES CURRIE** LICENSE NUMBER: **31478**
COMPANY: **McCracken & Lopez** PHONE NUMBER: **(704) 376-7072**
EMAIL: **jamesC@mccrackenlopez.com**

Plumbing Engineer of Record:
NAME: **JAMES CURRIE** LICENSE NUMBER: **31478**
COMPANY: **McCracken & Lopez** PHONE NUMBER: **(704) 376-7072**
EMAIL: **jamesC@mccrackenlopez.com**

Mechanical Engineer of Record:
NAME: **JAMES CURRIE** LICENSE NUMBER: **31478**
COMPANY: **McCracken & Lopez** PHONE NUMBER: **(704) 376-7072**
EMAIL: **jamesC@mccrackenlopez.com**

Fire Suppression & Sprinkler Standpipe Engineer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

Structural Engineer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

Retaining Walls (> 5'-0" high) Engineer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

Landscape Architect Designer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

Building Animal Containment Architect Designer of Record:
NAME: _____ LICENSE NUMBER: _____
COMPANY: _____ PHONE NUMBER: _____
EMAIL: _____

2018 NC Building Code: N/A New Building Addition 1st Time Interior Completion
 Renovation Shell & Core* Phased Construction - Shell & Core*
* Contact local inspection jurisdiction for possible additional procedures & requirements.

2018 NC Existing Building Code: N/A Prescriptive Repair Chapter 14
 Alteration Level 1 Alteration Level 2 Alteration Level 3
 Historic Property Change of Use

Constructed: (date) **2010** Current Occupancy(s): **(Ch. 3) A-2**
Renovated: (date) **N/A** Proposed Occupancy(s): **(Ch. 3) A-2 (RENOVATED AREA IS 'B')**
Occupancy Category: Current: I II III IV N/A
Proposed: I II III IV N/A

BASIC BUILDING DATA
Construction Type: I-A I-B II-A II-B III-A III-B IV V-A V-B
Sprinklers: N/A Yes No Partial
 N/A NFPA 13 NFPA 13R NFPA 13D
Standpipes: N/A No Class I - Wet Class I - Dry Class II - Wet Class II - Dry
 Class III - Wet Class III - Dry
Primary Fire District: Yes No
Flood Hazard Area: Yes No
Special Inspections Required: Yes* No
* Contact local inspection jurisdiction for possible additional procedures & requirements.

Gross Building Area Table

Floor	Existing Building Area	Renovated Area	Sub-Total
LOWER LEVEL	29,237 SF	0 SF	29,237 SF
FIRST FLOOR	62,004 SF	0 SF	62,004 SF
MEZZANINE	3,594 SF	0 SF	3,594 SF
SECOND FLOOR	56,697 SF	9490 SF	66,187 SF
THIRD FLOOR	38,629 SF	0 SF	38,629 SF
UPPER MEZZANINE	2,288 SF	0 SF	2,288 SF
<<insert Level Name>>	0 SF	0 SF	0 SF
<<insert Level Name>>	0 SF	0 SF	0 SF
<<insert Level Name>>	0 SF	0 SF	0 SF
<<insert Level Name>>	0 SF	0 SF	0 SF
<<insert Level Name>>	0 SF	0 SF	0 SF
Totals:	192,449 SF	9490 SF	201,939 SF

Percentage of Wall Opening Calculations (Table 705.8)

Fire Separation Distance (ft) from Property Line	Degree of Openings Protection (Table 705.8)	Allowable Area (%)	Actual Shown on Plan (%)
Northern Elevation	3'-2" UP, S	15%	26% @ OPENINGS @ RATED WALL
Eastern Elevation	30'-0" UP, S	NO LIMIT	32%
Southern Elevation	30'-0" UP, S	NO LIMIT	57%
Western Elevation	30'-0" UP, S	NO LIMIT	16%

Allowable Area Classification & Uses

Primary Occupancy Classification(s):

Assembly	Business	Hazardous	Institutional	Mercantile	Storage	Utility & Misc.
<input type="checkbox"/> A-1 <input type="checkbox"/> B	<input type="checkbox"/> H-1 (Detonate) <input type="checkbox"/> I-1 (Condition 1)	<input type="checkbox"/> M	<input type="checkbox"/> S-1 (Moderate) <input type="checkbox"/> U	<input checked="" type="checkbox"/> A-2 <input type="checkbox"/> Education	<input type="checkbox"/> H-2 (Deflagrate) <input type="checkbox"/> I-1 (Condition 2)	<input type="checkbox"/> Residential
<input type="checkbox"/> A-3 <input type="checkbox"/> E	<input type="checkbox"/> H-3 (Combust) <input type="checkbox"/> I-2 (Condition 1)	<input type="checkbox"/> R-1	<input type="checkbox"/> S-2 (Low)	<input type="checkbox"/> A-4 <input type="checkbox"/> Factory	<input type="checkbox"/> H-4 (Health) <input type="checkbox"/> I-2 (Condition 2)	<input type="checkbox"/> R-2
<input type="checkbox"/> A-5 <input type="checkbox"/> F-1 (Moderate) <input type="checkbox"/> F-2 (Low)	<input type="checkbox"/> H-5 (HPM) <input type="checkbox"/> I-3 (Condition 1)	<input type="checkbox"/> R-3	<input type="checkbox"/> S-2 (High Piled)	<input type="checkbox"/> A-5 <input type="checkbox"/> F-1 (Moderate) <input type="checkbox"/> F-2 (Low)	<input type="checkbox"/> H-5 (HPM) <input type="checkbox"/> I-3 (Condition 1)	<input type="checkbox"/> R-3
	<input type="checkbox"/> I-3 (Condition 2)	<input type="checkbox"/> R-4	<input type="checkbox"/> I-3 (Condition 4)		<input type="checkbox"/> I-3 (Condition 2)	<input type="checkbox"/> R-4
	<input type="checkbox"/> I-3 (Condition 3)		<input type="checkbox"/> I-3 (Condition 5)		<input type="checkbox"/> I-3 (Condition 3)	<input type="checkbox"/> I-4
	<input type="checkbox"/> I-4				<input type="checkbox"/> I-4	

Accessory Occupancy Classification(s): **BUSINESS/MERCANTILE**
Incidental Uses (Table 509):
Special Uses (Chapter 4 - List Code Sections):
Special Provisions (Chapter 5 - List Code Sections):

Mixed Occupancy? No Yes, Non-Separated Use (Section 508.3) Yes, Separated Use (Section 508.4)
Separation: N/A 1 Hour 2 Hour 3 Hour 4 Hour
Exception: **303.1**

Separated Use Calculations (Table 506.2)

Occupancy Type	Actual Area (ft²)	Allowable Area (ft²)	[Actual Area]-[Allowable Area]
NOT APPLICABLE			

Allowable Area Increase Calculations

Story #	Description & Use	(A) Building Area per Story [Actual]	(B) Table 506.2 Area	(C) Area for Frontage Increase ^{1,2}	(D) Allowable Area per Story or Unlimited ^{3,4}
NOT USED					

¹ Frontage area increases from Section 506.2 are computed below:
a. Perimeter which fronts a public way or open space having 20 feet minimum width = (F).
b. Total Building Perimeter = (P)
c. Ratio = (F/P)
d. Minimum width of public way = (W)
e. Percent of frontage increase = 1 + 100[(F/P) - 0.25] x W/30
² Unlimited area applicable under conditions of Section 507.
³ Maximum Building Area = Total number of stories in the building * D (Maximum 3 stories) (506.2).
⁴ The maximum area of open parking garages must comply with Table 406.5.4. The maximum area of air traffic control towers must comply with Table 412.3.1.
⁵ Frontage increase is based on the unobstructed area value in Table 506.2.

ASSEMBLY - MOST RESTRICTIVE Allowable Height

	Allowable	Shown on Plans	Code References
Building Height in Feet (Table 504.3)	160'-0"	58'-4"	T504.3
Building Height in Stories (Table 504.4)	12	4	T504.4

FIRE PROTECTION REQUIREMENTS TABLE 601

Building Element	Fire Separation Distance (feet)	Rating	Required	Provided (w/ Section ## "reduction")*	Detail # & Sheet #	Design # for Rated Assembly	Sheet # for Rated Penetration	Design # for Rated Joints
Structural Frame (Columns, girders, trusses, etc.)			2 (EXISTING)	NO CHANGE	N/A	X771, X772 (EXISTING)	N/A	N/A
Bearing Walls **NO CHANGE								
Exterior								
North	>30	2 (EXISTING)	0	N/A	N/A	N/A	N/A	N/A
East	>30	2 (EXISTING)	0	N/A	N/A	N/A	N/A	N/A
West	>30	2 (EXISTING)	0	N/A	N/A	N/A	N/A	N/A
South	>30	2 (EXISTING)	0	N/A	N/A	N/A	N/A	N/A
Interior Bearing Walls			2 (EXISTING)	0	N/A	N/A	N/A	N/A
Nonbearing Walls & Partitions **NO CHANGE								
Exterior								
North	>30	0	0	N/A	N/A	N/A	N/A	N/A
East	>30	0	0	N/A	N/A	N/A	N/A	N/A
West	>30	0	0	N/A	N/A	N/A	N/A	N/A
South	>30	0	0	N/A	N/A	N/A	N/A	N/A
Interior Walls & Partitions			0	N/A	N/A	N/A	N/A	N/A

Roof/Ceiling Assemblies: THERMAL ENVELOPE:

Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation	Skylights in Assembly	Skylight Area in Assembly
SHGC					
Skylight Assemblies:					
Mark/Tag	Description	Assembly U-Value	R-Value of Insulation		
SHGC					
Exterior Wall Assemblies:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Openings (Windows/Doors with Glazing): SPECIALTY GLAZING MEMBER					
Mark/Tag	Description	Assembly U-Value	R-Value of Insulation		
SHGC					
Walls Below Grade:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Floors Over Unconditioned Space:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Floors Slab-on-Grade:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					

Life Safety System Requirements
Emergency Lighting: Yes No Partial No
Smoke Detection System: Yes No
Exit Signs: Yes No Partial No
Fire Alarm: Yes No Carbon Monoxide Detection: Yes No

Life Safety Plan Requirements

G111 (EXISTING NUMBER OF EXITS AND EXIT WIDTHS ARE IN ACCORDANCE WITH THE 2018 NCSCB EXISTING BUILDING CODE FOR ALTERATIONS 2 SECTION 805)
 Fire and/or smoke rated wall locations (Chapter 7)
 Assumed and real property line locations (if not on the site plan)
 Exterior wall opening area with respect to distance to assumed property lines (705.3)
 Occupancy Use for each area as it relates to occupant load calculation (Table 1004.1.2)
 Occupant loads for each area
 Exit access travel distances (1017)
 Common path of travel distances (Tables 1006.2.1 & 1006.3.2(1))
 Dead end lengths (1020.4)
 Clear exit widths for each exit door*
 Maximum calculated occupant load capacity each exit door can accommodate based on egress width (1005.3)
 Actual occupant load for each exit door*
 A separate schematic plan indicating where fire rated floor/ceiling and/or roof structure is provided for purposes of occupancy separation
 Location of doors with panic hardware (1010.1.10)
 Location of doors with delayed egress locks and the amount of delay (1010.1.9.7)
 Location of doors with electromagnetic egress locks (1010.1.9.9) **NO NEW DOORS HAVE ELECTROMAGNETIC EGRESS LOCKS. THEREFORE NONE ARE SHOWN.**
 Location of doors equipped with hold-open devices
 Location of emergency escape windows (1030)
 The square footage of each fire area (202)
 The square footage of each smoke compartment for Occupancy Classification I-2 (407.5)
 Note any code exceptions or table notes that may have been utilized regarding the items above

Accessible Dwelling Units (Section 1107)

Total Units	Accessible Units Required	Accessible Units Provided	Type "A" Units Required	Type "A" Units Provided	Type "B" Units Required	Type "B" Units Provided	Total Accessible Units Provided
NO DWELLING OR SLEEPING UNITS IN SCOPE OF WORK							

Accessible Parking (Section 1108)

Lot or Parking Area	Total # of Parking Spaces		Number of Accessible Spaces Provided			Total Number Accessible Spaces Provided
	Required	Provided	Regular with 5' Access Aisle	132" Access Aisle	8' Access Aisle	
A-2	0	0	0	0	0	0
EXISTING TO REMAIN						
Totals:	0	0	0	0	0	0

Plumbing Fixture Requirements (Table 2902.1)

Use	Water Closets	Lavatories	Drinking Fountains
Existing	0	0	0
New	0	0	0
SEE SHEET G111 FOR EXISTING BUILDING PLUMBING CALCULATIONS			
Space	0	0	0

SPECIAL APPROVALS
Special approvals: (Local Jurisdiction, Department of Insurance, OSC, DPI, DHS, etc.)
Described Below:
N/A

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

ENERGY SUMMARY
ENERGY REQUIREMENTS:
The following data shall be considered minimum and any special attribute required to meet the energy code shall also be provided. Each Designer shall furnish the required portions of the project information for the plan data sheet. If performance method, state the annual energy cost for the standard reference design vs annual energy cost for the proposed design.

EXISTING BUILDING ENVELOPE COMPLIES WITH CODE: Yes No Not Applicable
EXEMPT BUILDING: Yes No Not Applicable
Climate Zone: **3A**
METHOD OF COMPLIANCE: No Change to Existing Systems Prescriptive (ASHRAE 90.1-2013)
 Prescriptive (NCECC 2018) Performance (ASHRAE 90.1-2013)
 Performance (NCECC 2018) Other

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

Roof/Ceiling Assemblies: THERMAL ENVELOPE:

Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation	Skylights in Assembly	Skylight Area in Assembly
SHGC					
Skylight Assemblies:					
Mark/Tag	Description	Assembly U-Value	R-Value of Insulation		
SHGC					
Exterior Wall Assemblies:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Openings (Windows/Doors with Glazing): SPECIALTY GLAZING MEMBER					
Mark/Tag	Description	Assembly U-Value	R-Value of Insulation		
SHGC					
Walls Below Grade:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Floors Over Unconditioned Space:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					
Floors Slab-on-Grade:					
Mark/Tag	Description	Assembly Total U-Value	R-Value of Insulation		
SHGC					

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

STRUCTURAL DESIGN
DESIGN LOADS:
IMPORTANCE FACTORS: I II III IV V
WIND (lw): _____
SNOW (ls): _____
SEISMIC (le): _____
GROUND SNOW LOAD: _____
WIND (le): _____
LIVE LOADS: _____
ROOF: _____
MEZZANINE: _____
FLOOR: _____
SEISMIC DESIGN CATEGORY: _____
RISK CATEGORY (TABLE 6.5.1): _____
SPECTRAL RESPONSE: _____
SITE CLASSIFICATION: _____
BASIC STR: _____
LATERAL DEFORMATION (DRIFT): _____
SOIL BEARING CAPACITIES: _____
Soil Bearing Load: _____
Pile Size, Type, & Capacity: _____

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS
MECHANICAL DESIGN & SUMMARY
Mechanical Systems, Service Systems and Equipment
METHOD OF COMPLIANCE: No Change to Existing Systems
 Prescriptive
 Performance
 Energy Cost Budget
Weather Station: **TMY**
Thermal Zone: **3A**
Exterior Design Conditions:
summer dry bulb: **95°F** summer wet bulb: **75°F**
winter dry bulb: **10°F**
Interior Design Conditions:
summer dry bulb: **75°F**
winter dry bulb: **70°F**
relative humidity: **50%**
Building Cooling Load: **345.1 MBH (SPACE ONLY)**
Building Heating Load: **286.1 MBH (SPACE ONLY)**
Mechanical Spacing Conditioning System:
Unitary: **EXISTING AHU WITH VAV BOXES**
description of unit: **N/A**
cooling output: **379.6 MBH**
cooling efficiency: **N/A**
heating output: **424.0 MBH**
heating efficiency: **N/A**
Chiller: **N/A**
Chiller output: _____
Overizing reason: _____
Boiler: **N/A**
Boiler output: _____
Overizing reason: _____
List equipment efficiencies:
Cooling Efficiency: _____
Heating Efficiency: _____
Mechanical system motors:
Motor horsepower: **N/A**
Number of phases: _____
Minimum efficiency: _____
Motor type: _____
Number of poles: _____

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL PROJECTS

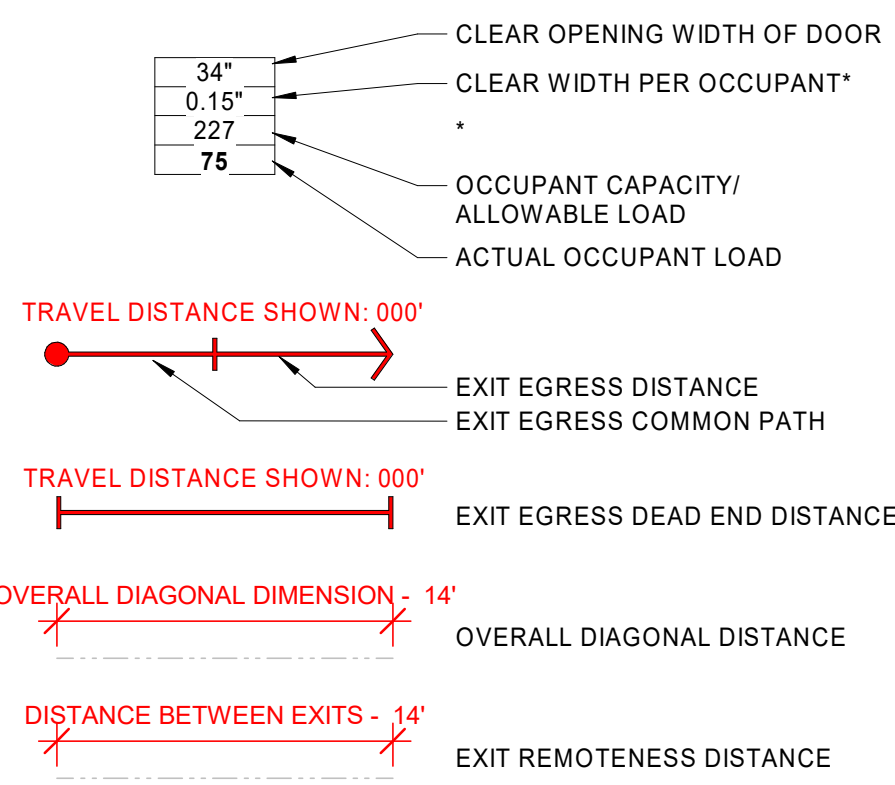
ELECTRICAL DESIGN & SUMMARY
Electrical Systems and Equipment
METHOD OF COMPLIANCE: No Change to Existing Systems
 Prescriptive (NCECC 2018)
 Performance (NCECC 2018)
 Prescriptive (ASHRAE 90.1-2013)
 Performance (ASHRAE 90.1-2013)
Lighting Schedule:
Fixture Type: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Lamp Type Required: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Number of Lamps: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Ballast Type Used: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Number of Ballasts: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Total Watts / Fixture: **REFER TO LIGHTING FIXTURE SCHEDULE, SHEET E004**
Allowable Lighting Power: Whole Building Method
 Space by Space Method
INTERIOR LIGHTING:
Allowed Lighting Power: **8448 W**
Designed Lighting Power: **6122 W**
Difference: **2324 W**
EXTERIOR LIGHTING:
Allowed Lighting Power: _____
Designed Lighting Power: _____
Difference: _____
Additional Efficiency Package Options:
FOR 2018 NCECC COMPLIANCE PATHS. NOT REQUIRED FOR ASHRAE 90.1 COMPLIANCE PATHS.
 C406.2 More Efficient HVAC Equipment Performance
 C406.3 Reduced Lighting Power Density
 C406.4 Enhanced Digital Lighting Controls
 C406.5 On-Site Renewable Energy
 C406.6 Dedicated Outside Air System
 C406.7 Reduced Energy Use in Service Water Heating
 Not Applicable

2018 Appendix B BUILDING CODE SUMMARY FOR ALL COMMERCIAL

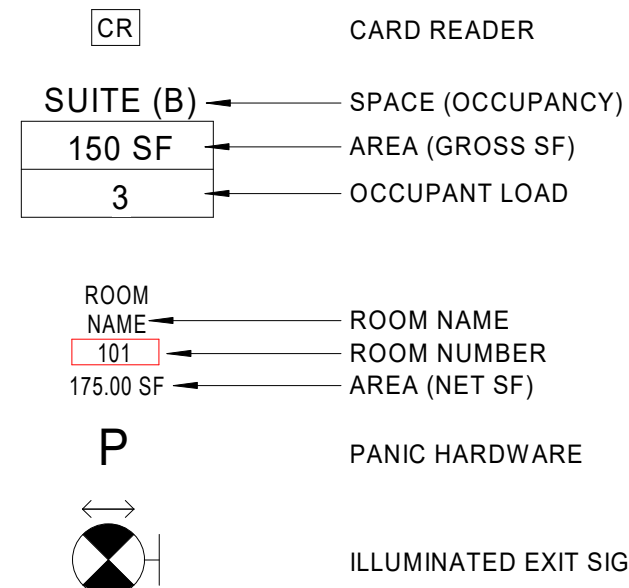
GENERAL NOTES

- SEE A010 FOR PARTITION TYPES.
- SEE A010 FOR TYPICAL PARTITION DETAILS.
- SEE A800 FOR DOOR HEAD AND JAMB DETAILS.

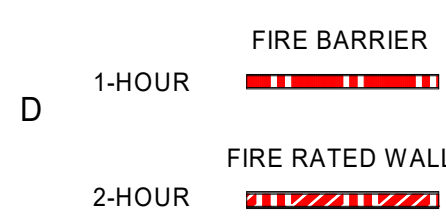
F SYMBOLS - LIFE SAFETY



E



EXISTING RATED WALLS & PARTITIONS



AREA/OCCUPANCY SCHEDULE - AREA OF WORK (EXISTING)

AREA	Level	Occupancy	(GROSS SF) Area	Existing Occupant Load
Level 2				
CONFERENCE	Level 2	A	208 SF	13
WORKROOM	Level 2	A	621 SF	25
LEADERSHIP CENTER	Level 2	B	1181 SF	12
STUDENT ORGANIZATION OFFICE SUITE	Level 2	B	7594 SF	75
Grand total: 4			9603 SF	125

AREA/OCCUPANCY SCHEDULE - AREA OF WORK (PROPOSED)

AREA	Level	Occupancy	(GROSS SF) Area	Occupant Load
Level 2				
CAB SUITE (B)	Level 2	A	852 SF	8.5
BSU OFFICE (B)	Level 2	B	123 SF	11.2
COLLAB (B)	Level 2	B	204 SF	2.0
L&CE SUITE, SI SUITE, AND BREAKROOM (B)	Level 2	B	3245 SF	32.5
RESOURCE AND COLLABORATION SPACE (B)	Level 2	B	4388 SF	43.9
SGA SUITE (B)	Level 2	B	554 SF	5.5
STO	Level 2	S-1	129 SF	0.4
STO	Level 2	S-1	76 SF	0.3
STO	Level 2	S-1	32 SF	0.1
Grand total: 9			9603 SF	94.5

THERE IS NO OCCUPANCY INCREASE FOR THE 'AREA OF WORK'. THERE WILL BE NO INCREASE ON THE OCCUPANCY LOADS FOR THE EXISTING PLUMBING COUNTS AND THE EGRESS WIDTHS.

EGRESS CAPACITY FOR NCSBC 2018 ALTERATIONS LEVEL 2

805.2.1 Means of egress capacity. The capacity of the means of egress in each work area shall be sufficient for the maximum permitted occupant load of the work area and any adjacent spaces served by that means of egress as calculated on a per floor basis. Means of egress shall be measured in units of exit width of 22 inches (559 mm). The maximum permitted occupant load of a space shall be determined by the capacity of the means of egress serving the space as calculated in accordance with Table 805.2.1. The building owner shall have the option of establishing a reasonable restriction on the occupant load of the space based on the existing capacity of the means of egress or of providing additional egress capacity.

TABLE 805.2.1 CAPACITY PER UNIT OF EGRESS WIDTH

USE GROUP	NUMBER OF OCCUPANTS			
	Without Fire Suppression		With Fire Suppression	
	Stairways	Doors, Ramps, and Corridors	Stairways	Doors, Ramps, and Corridors
A ^a	75	100	113	150
B	60	100	90	150
E	75	100	113	150
F	60	100	90	150
H	NA	NA	60	100
L-1	60	100	90	100
L-2	22	30	35	45
L-3	60	100	90	150
M	60	100	90	150
R	75	100	113	150
S	60	100	90	150

Unit of egress width = 22 inches.
 NA = Not Allowed.
 a. The occupant load may be equal to the total number of occupants for which exit capacity is provided as determined by Table 805.2.1.
 b. Interpolation shall be allowed in determining capacity of egress width.
 c. For Use Group A occupancies, the resulting total occupant load shall not exceed one occupant per five square feet of net floor area over the entire use.

OCCUPANCY/PLUMBING TOTALS FOR EXISTING BUILDING**

** THIS INFORMATION WAS TAKEN DIRECTLY FROM THE CODE SUMMARY FOR THE STUDENT UNION RECORD DRAWINGS DATED 02/22/19. THE 2002 NBC WAS USED AT THE TIME OF CONSTRUCTION.

IPC - International Plumbing Code (NCSBC 2002 - Blue Pages) - Plumbing Usage Counts
 Table 403.1 - Minimum Number of Plumbing Facilities

Space Description	Water Closets	Urinals	Lavatories	Drinking Fountains	Service Sinks
College Ed Bldgs	8	16	12	6	6
Auditoriums	6	19	-	2	3
Office/Public Bldgs	3	5	-	6	8
Mercantile	2	7	1	2	4
Restaurant	5	12	6	4	0
Theater	3	7	3	3	1
Storage/Mechanical	3	2	-	3	2
Total	30	68	29	26	30

Count based on: Total Plumbing Usage Load:

TOTAL FIXTURE COUNT	Water Closets	Urinals	Lavatories	Drinking Fountains	Service Sinks
Lower Level Actual	4	12	5	3	4
First Level Actual	8	19	8	11	11
Second Level Actual	10	21	10	13	13
Third Level Actual	8	19	8	11	9
Total Actual	30	71	31	38	38

AREA/OCCUPANCY/EGRESS WIDTHS FOR EXISTING BUILDING**

** THIS INFORMATION WAS TAKEN DIRECTLY FROM THE CODE SUMMARY FOR THE STUDENT UNION RECORD DRAWINGS DATED 02/22/19. THE 2002 NBC WAS USED AT THE TIME OF CONSTRUCTION.

EXIT REQUIREMENTS NUMBER AND ARRANGEMENT OF EXITS
 Table 1004.2.1 - Minimum Number of Plumbing Facilities

FLOOR, ROOM OR SPACE DESIGNATION	MINIMUM NUMBER OF EXITS REQUIRED	SHOWN ON PLANS	TRAVEL DISTANCE ALLOWABLE (TABLE 1004.2.4)	ACTUAL TRAVEL DISTANCE SHOWN ON PLANS	ARRANGEMENT MEANS OF EGRESS REQUIRED (SECTION 1004.1)	ACTUAL DISTANCE BETWEEN EXIT DOORS SHOWN ON PLANS
Third Floor	4	4	250'-0"	169'-0"	NA	NA
Second Floor	4	5	250'-0"	193'-6"	NA	NA
Mezzanine	2	2	250'-0"	97'-0"	NA	NA
First Floor	4	5	250'-0"	170'-4"	NA	NA
Lower Level	3	3	250'-0"	121'-10"	NA	NA

* Corridor dead ends (Section 1004.3.2.3)
 * Single exit (Table 1004.2.2)
 * Common Path of Travel (Section 1004.2.5)

EXIT WIDTH (a) USE GROUP OR SPACE DESCRIPTION (b) AREA, sq. ft. (c) EGRESS WIDTH PER OCCUPANT (TABLE 1003.2.2) (d) ACTUAL WIDTH SHOWN ON PLANS

Upper Mezz. - A-2	Elevator Equipment	800	/ 200 Gross = 4	0.2	0.15	1.4'	1.05'	48'	32'
-------------------	--------------------	-----	-----------------	-----	------	------	-------	-----	-----

Third Floor - A-2

Kitchen (Commercial)	1762	/ 200 Gross = 9	0.2	0.15	1.8'	1.35'	227'-1"	391.5'	288'
----------------------	------	-----------------	-----	------	------	-------	---------	--------	------

Second Floor - A-2

Office	18,300	/ 100 Gross = 183	0.2	0.15	36.6"	27.45"	290.4'	217.8'	445.5'
--------	--------	-------------------	-----	------	-------	--------	--------	--------	--------

Mezzanine - A-2

Study Lounge	1,182	/ 15 NET = 79	0.2	0.15	15.8"	11.85"	40.2'	30.15'	198'
--------------	-------	---------------	-----	------	-------	--------	-------	--------	------

First Floor - A-2

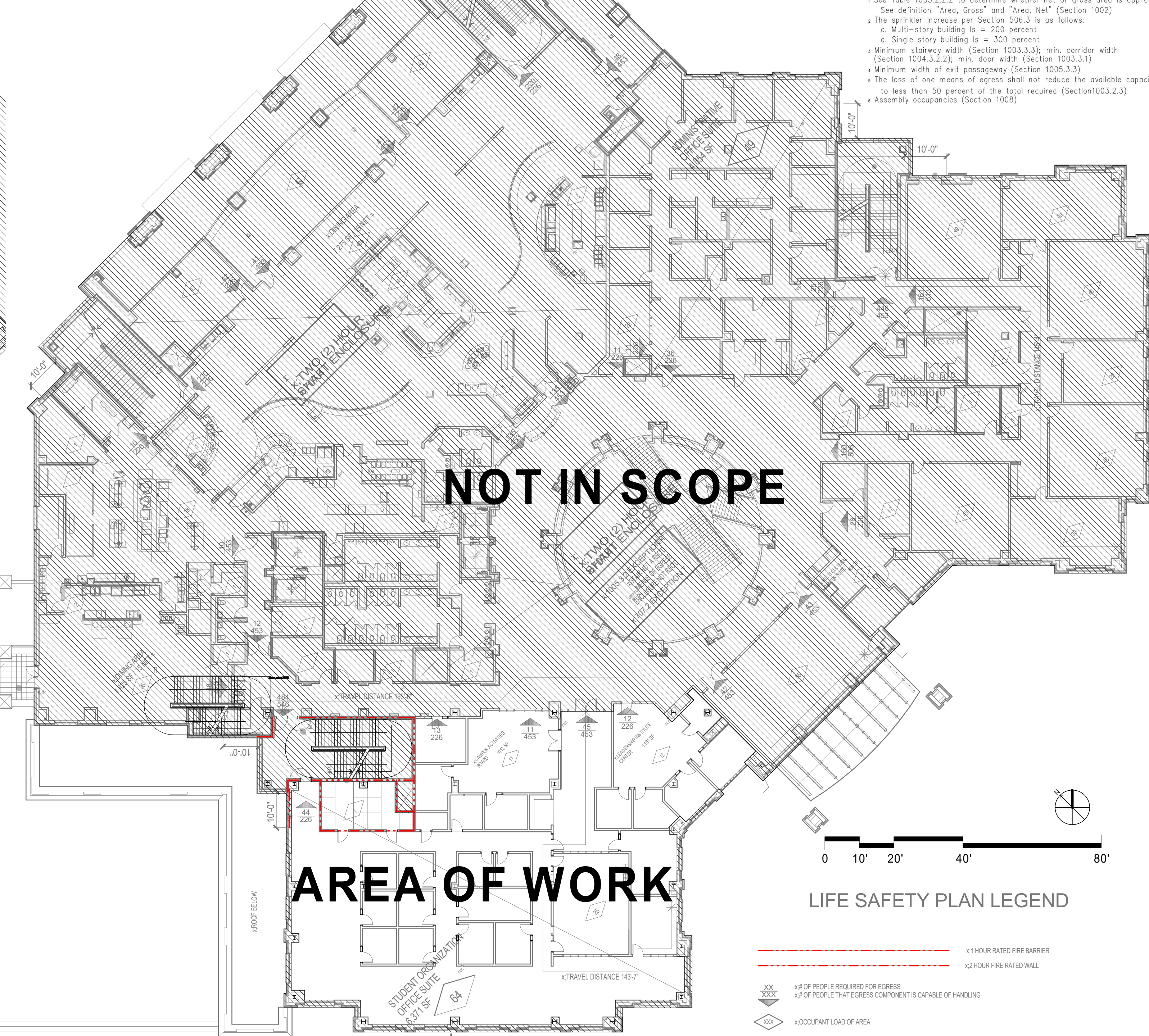
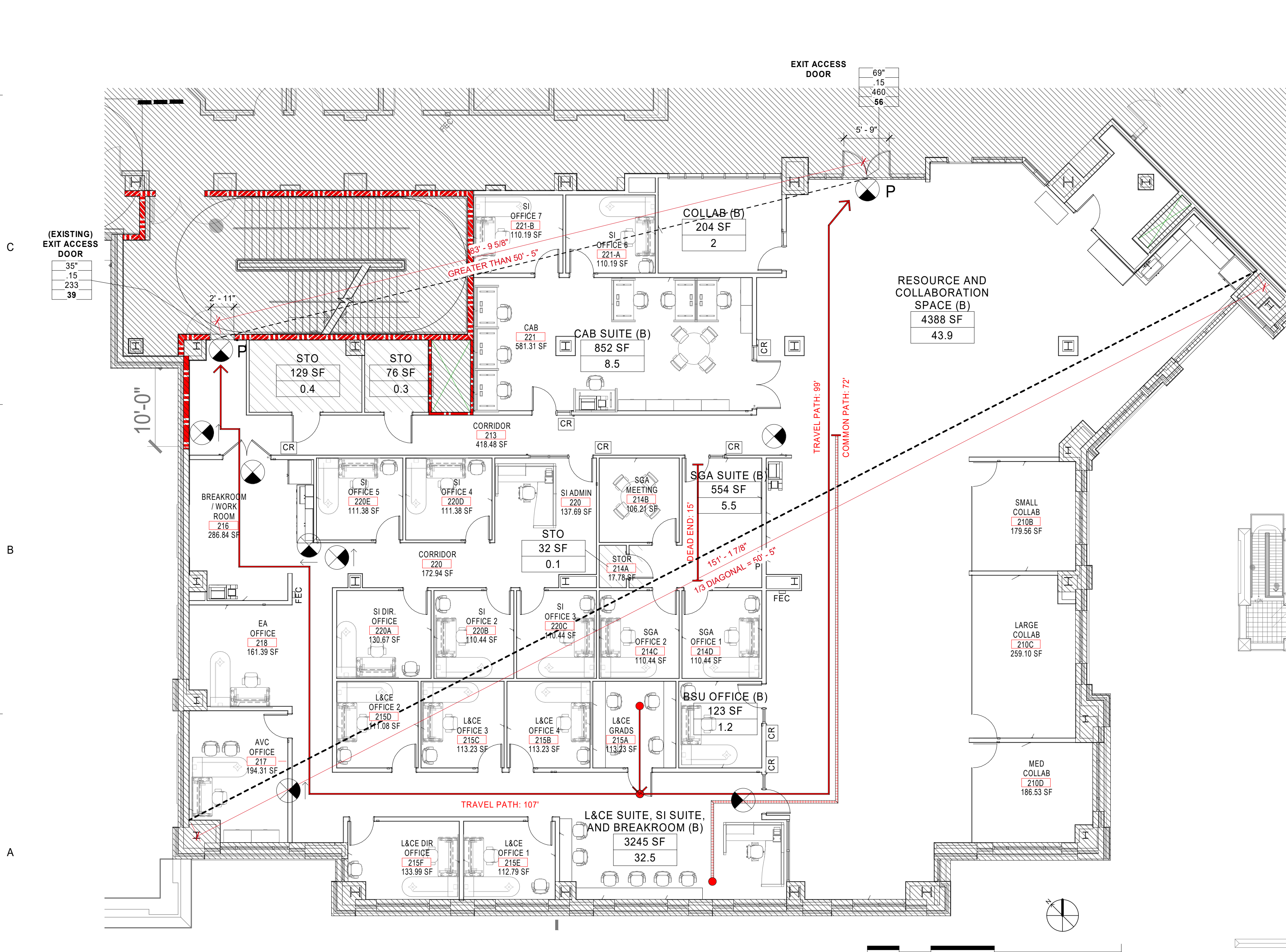
Kitchen (Commercial)	4419	/ 200 Gross = 23	0.2	0.15	4.5"	3.45"	74.8'	267.85'	153'
----------------------	------	------------------	-----	------	------	-------	-------	---------	------

Lower Level - A-2

Office	5,415	/ 100 Gross = 55	0.2	0.15	NA	8.25"	NA	32.4'	NA
--------	-------	------------------	-----	------	----	-------	----	-------	----

** SEE LIFE SAFETY PLAN G100 - PORTION OF FIRST FLOOR OCCUPANTS EXIT VIA STAIRS AND REMAINDER EXIT TO GRADE

See Table 1003.2.2 to determine whether net or gross area is applicable.
 See definition "Area, Gross" and "Area, Net" (Section 1002)
 a. The sprinkler increase per Section 506.3 is as follows:
 b. Multi-story building is = 200 percent
 c. Single story building is = 300 percent
 d. Minimum stairway width (Section 1003.3.3); min. door width (Section 1004.3.2.2); min. door width (Section 1003.3.1)
 e. Minimum width of exit passageway (Section 1003.3.3)
 f. The loss of one means of egress shall not reduce the available capacity to less than 50 percent of the total required (Section 1003.2.5)
 g. Assembly occupancies (Section 1008)



LITTLE
 DEVELOPED ARCHITECTURAL CONSULTING

615 South College Street
 Charlotte, NC 28202
 774.523.9340

www.littleonline.com

This drawing and the design shows are the property of Little Developed Architectural Consulting. Its reproduction, copying or other use of this drawing without their written consent is prohibited and any infringement will be subject to legal action.

© Little 2019

McCracken & Lopez, P.A.
 Consulting Engineers

8801 J.M. Keynes Drive, Ste. 240
 Charlotte, NC 28202
 704.576-7072 (License No. C-0503)

UNC CHARLOTTE

LITTLE DEVELOPED ARCHITECTURAL CONSULTING, INC.
 CERT. NO. 50033
 CHARLOTTE, N.C.

ANNON RYDOLL REGISTERED ARCHITECT
 12539
 4/13/2010
 NORTH CAROLINA
 CHARLOTTE, N.C.

ISSUE FOR: BID SET

ISSUE DATE: 03/23/20

REVISIONS:

NO.	REASON	DATE

PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A
 PROJECT NO.: 113-1001-00
 SHEET TITLE: LIFE SAFETY PLAN - LEVEL 01

SHEET NUMBER: G111

DEMOLITION LEGEND

DEMOLITION SYMBOLS LEGEND	
	EXISTING PARTITION TO REMAIN
	EXISTING PARTITION TO BE DEMOLISHED
	EXISTING CASEWORK OR OTHER ITEM TO BE DEMOLISHED
	EXISTING CEILING TO BE DEMOLISHED
	EXISTING DOOR TO REMAIN
	EXISTING DOOR TO BE DEMOLISHED
	NO WORK TO BE PERFORMED

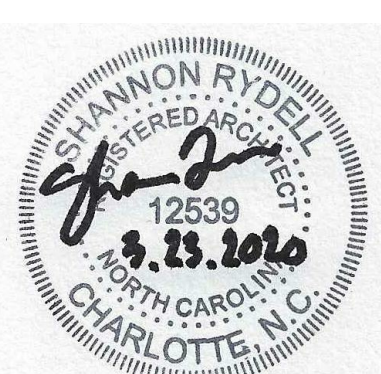
SEE MEP/FP DRAWINGS FOR ADDITIONAL DEMOLITION INFORMATION.

ARCHITECTURAL DEMOLITION NOTES

- A. IT IS THE INTENT OF THIS DOCUMENT TO UTILIZE THE REUSE OF BUILDING STANDARDS, SUCH AS, BUT NOT LIMITED TO, DOORS AND SIGNAGE AND CORNER GUARDS WHERE POSSIBLE. ALL SUCH BUILDING MATERIALS REMOVED DURING THIS PROJECT SHALL BE INVENTORIED AND NEATLY STORED ON SITE FOR REUSE. ALL SURPLUS FIXTURES AND MATERIAL ITEMS REMOVED DURING DEMOLITION BUT NOT REUSED DURING THIS PROJECT SHALL BE STORED FOR LATER USE. CONTRACTORS SHALL COORDINATE THE SEQUENCE FOR DEMOLITION AND THE LOCATION OF ON SITE STORAGE AREAS FOR EXISTING ITEMS TO BE REUSED, AND PROVIDE THE BUILDING WITH COPIES OF DEMOLITION INVENTORY.
- B. REMOVE ALL CONSTRUCTION SHOWN ON THE DRAWINGS AS EXISTING TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO, FLOORING, PARTITIONS, INCLUDING ELEMENTS OCCURRING ABOVE THE FINISHED CEILING(S), HANGERS, STRAPS AND OTHER ACCESSORY OBJECTS CONNECTED WITH THE ITEMS BEING REMOVED.
- C. THE CONTRACTOR SHALL REMOVE SUCH EXISTING WORK AS CALLED FOR IN CONTRACT OR AS REQUIRED TO CLEAR THE AREAS FOR NEW CONSTRUCTION.
- D. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVAL FOR FINAL DISPOSITION.
- E. CONTRACTOR TO USE CARE WHEN REMOVING DRYWALL, AS NOT TO DISTURB EXISTING FIREPROOFING AROUND EXISTING COLUMN.
- F. WORK DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND PATCHED OR REPAIRED SHOULD DAMAGE OCCUR.
- G. WHERE EXISTING EQUIPMENT IS TO BE RELOCATED, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE REMOVAL WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- H. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED DAILY FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND BE DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES. VERIFY SALVAGE MATERIALS WITH THE OWNER'S REPRESENTATIVE.
- I. CONTRACTOR SHALL CONSULT OTHER TRADES PRIOR TO COMMENCING THIS WORK, TO AVOID CONFLICT.
- J. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHOW INTENT OF WORK TO BE DONE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR REQUIRED AND COST FOR REMOVAL OF ALL SYSTEMS CALLED FOR IN CONTRACT.
- K. ALL EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE.
- L. CONTRACTOR TO PATCH AND REPAIR ALL AREAS AFFECTED BY THE DEMOLITION.
- M. FOR MECHANICAL AND ELECTRICAL DEMOLITION NOTES, REFER TO MECHANICAL AND ELECTRICAL PLANS.
- N. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL HVAC OR ELECTRICAL DEMOLITION REQUIRED.
- O. ON REMAINING WALLS ADJACENT TO THOSE BEING DEMOLISHED, EXISTING BASE SHALL BE REMOVED BACK TO NEAREST INSIDE CORNER AND WALLS SHALL BE REPAIRED SO AS TO CREATE A SMOOTH SURFACE READY TO RECEIVE NEW BASE.

MEP DEMOLITION NOTES

- A. THE CONTRACTOR SHALL REMOVE ALL EXISTING WIRE NOT BEING USED ABOVE LAY-IN CEILING(S). CONDUIT BEING ABANDONED SHALL BE REMOVED COMPLETELY BACK TO THE SOURCE. ALL EXISTING CIRCUITS NOT BEING USED SHALL BE MARKED AS SPARE CIRCUITS IN THE DESIGNATED PANEL.
- B. ALL DEMOLITION WORK SHALL BE PERFORMED WITH "DUE CARE AND DILIGENCE" AS TO PREVENT THE ARBITRARY DESTRUCTION OR INTERRUPTION OF CONCEALED UTILITIES WHICH ARE INTENDED TO REMAIN IN USE AND THE ROUTING OF WHICH COULD NOT BE DETERMINED UNTIL DEMOLITION WAS STARTED. ALL SUCH DISCOVERIES OF UTILITIES DURING THE DEMOLITION PROCESS WHICH ARE IN A LOCATION DIFFERENT FROM THAT INDICATED, OR ARE UNIDENTIFIED, SHALL BE REPORTED TO THE ARCHITECT PRIOR TO REMOVAL FOR FINAL DISPOSITION.
- C. WHERE EXISTING EQUIPMENT IS TO BE RELOCATED, EXTREME CARE SHALL BE TAKEN TO PREVENT DAMAGE DURING THE REMOVAL WHERE DAMAGE OCCURS, THE EQUIPMENT SHALL BE REPLACED OR REPAIRED TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- D. EXCEPT AS OTHERWISE NOTED, ALL EXISTING ELECTRICAL WORK WHICH WILL NOT BE RENDERED OBSOLETE AND WHICH MAY BE DISTURBED DUE TO ANY CHANGES REQUIRED UNDER THIS CONTRACT, SHALL BE RESTORED TO ITS ORIGINAL OPERATING CONDITION. OTHER ELECTRICAL WORK OR MATERIAL RENDERED OBSOLETE SHALL BE REMOVED OR ABANDONED WHERE APPROPRIATE. CONCEALED AND REMOVED WHERE EXPOSED. OLD, UNUSED WIRING AND DEVICES SHALL BE REMOVED FROM THE ABANDONED (CONCEALED) CONDUITS. OUTLETS SHALL BE PROVIDED WITH BLANK COVERS.
- E. WHERE EXISTING FIXTURES, WIRING DEVICES, AND ELECTRICAL EQUIPMENT ARE REMOVED, RECONNECT CIRCUITING AS REQUIRED TO MAINTAIN CONTINUITY TO OUTLETS REMAINING ON THE CIRCUIT WITHIN OCCUPIED SPACES.
- F. WHERE REQUIRED BY NEW CONSTRUCTION, PROVIDE EXTENSION RINGS, COVERPLATES, OR ACCESS PLATES AS REQUIRED TO MAINTAIN ACCESS TO EXISTING WIRING.
- G. FIELD VERIFY LOCATIONS OF EXISTING OUTLETS. WHERE NEW CONSTRUCTION CONFLICTS WITH EXISTING OUTLETS, REMOVE WIRING DEVICES OR RELOCATE FIXTURES AS REQUIRED, WHETHER OR NOT SPECIFICALLY INDICATED.
- H. WHERE EXISTING WIRING DEVICES ARE REMOVED AND JUNCTION BOXES ARE NOT USED, PROVIDE BLANK COVERPLATES.
- I. WHERE EXISTING CIRCUITS ARE EXTENDED TO SERVE NEW OR RELOCATED DEVICES OR FIXTURES, PROVIDE TYPE AND SIZE OF CONDUCTORS TO MATCH EXISTING.
- J. EXISTING CIRCUITRY SHALL BE FIELD VERIFIED AND ADJUSTMENTS SHALL BE MADE, AS REQUIRED BY FIELD CONDITIONS.
- K. WHERE EXISTING ELECTRICAL WORK INTERFERES WITH NEW WORK AND WHERE SUCH INSTALLATIONS ARE TO REMAIN IN USE, THE INSTALLATIONS SHALL BE DISCONTINUED AND RELOCATED AND/OR RECONNECTED TO COORDINATE WITH NEW ELECTRICAL WORK.
- L. FEEDERS AND BRANCH CONDUIT SYSTEMS ENTERING AND LEAVING AREAS TO BE REMODELED WHICH SERVICE OTHER ACTIVE AREAS SHALL BE THE RESPONSIBILITY OF THIS CONTRACTOR TO MAINTAIN CONTINUITY OF THESE SYSTEMS.
- M. CONTRACTOR SHALL CONSULT OTHER TRADES PRIOR TO COMMENCING THIS WORK, TO AVOID CONFLICT.
- N. DEMOLITION DRAWINGS ARE DIAGRAMMATIC AND SHOW INTENT OF WORK TO BE DONE. CONTRACTOR SHALL PROVIDE ALL MATERIALS, EQUIPMENT, LABOR REQUIRED AND COST FOR REMOVAL OF ALL SYSTEMS CALLED FOR IN CONTRACT.
- O. ALL EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE.
- P. CONTRACTOR SHALL SUBMIT A TYPE WRITTEN INVENTORY OF MAJOR ELECTRICAL EQUIPMENT TO BE REMOVED IN DEMOLITION PHASE. INVENTORY SHALL DESCRIBE ITEM AND QUANTITY. AFTER OWNER HAS DECIDED WHICH EQUIPMENT TO RETAIN, CONTRACTOR SHALL REMOVE, COMPLETE FROM THE PROJECT SITE, ALL OTHER REMAINING ELECTRICAL EQUIPMENT INCLUDING ALL ITEMS NOT LISTED IN INVENTORY THAT ARE TO BE REMOVED IN DEMOLITION PHASE.
- Q. REMOVE ALL EXISTING FIXTURES, WIRING DEVICES, ELECTRICAL EQUIPMENT AND CIRCUITING WHETHER SPECIFICALLY INDICATED OR NOT, AS REQUIRED BY THE ARCHITECTURAL DEMOLITION WORK IN THE AREA TO BE RENOVATED.
- R. CONTRACTOR TO PATCH AND REPAIR ALL AREAS AFFECTED BY THE DEMOLITION.
- S. FOR MECHANICAL DEMOLITION NOTES, REFER TO MECHANICAL PLANS.
- T. FIXTURES SHALL BE CLEANED THOROUGHLY AND RELAMPED BEFORE TURNING THEM OVER TO OWNER.
- U. THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE MECHANICAL AND ELECTRICAL ENGINEERING DRAWINGS FOR ADDITIONAL HVAC OR ELECTRICAL DEMOLITION REQUIRED.
- V. IT IS THE INTENT OF THIS DOCUMENT TO UTILIZE THE REUSE OF BUILDING STANDARDS, SUCH AS, BUT NOT LIMITED TO, ELECTRICAL OUTLET BOXES, DIFFUSERS, SPEAKERS, EXIT SIGNS, FIRE ALARM DEVICES, CARD READERS, CAMERAS AND LIGHTING FIXTURES WHERE POSSIBLE. ALL SUCH BUILDING MATERIALS REMOVED DURING DEMOLITION SHALL BE INVENTORIED AND NEATLY STORED ON SITE FOR REUSE. ALL SURPLUS FIXTURES AND MATERIAL ITEMS REMOVED DURING DEMOLITION BUT NOT REUSED DURING THIS PROJECT SHALL BE STORED FOR LATER USE. CONTRACTORS SHALL COORDINATE THE SEQUENCE FOR DEMOLITION AND THE LOCATION OF ON SITE STORAGE AREAS FOR EXISTING ITEMS TO BE REUSED, AND PROVIDE THE BUILDING WITH COPIES OF DEMOLITION INVENTORY.



ISSUE FOR: BID SET

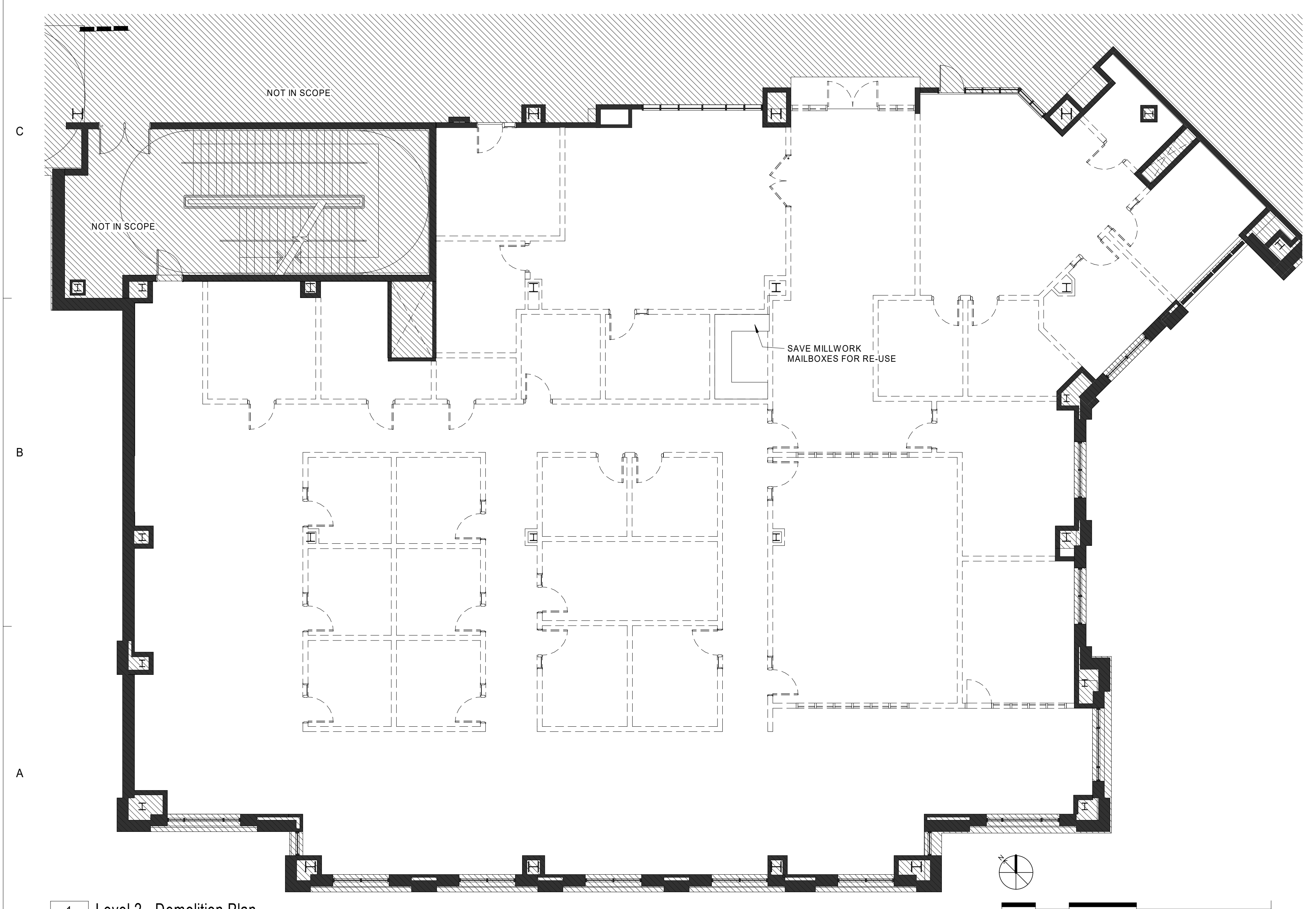
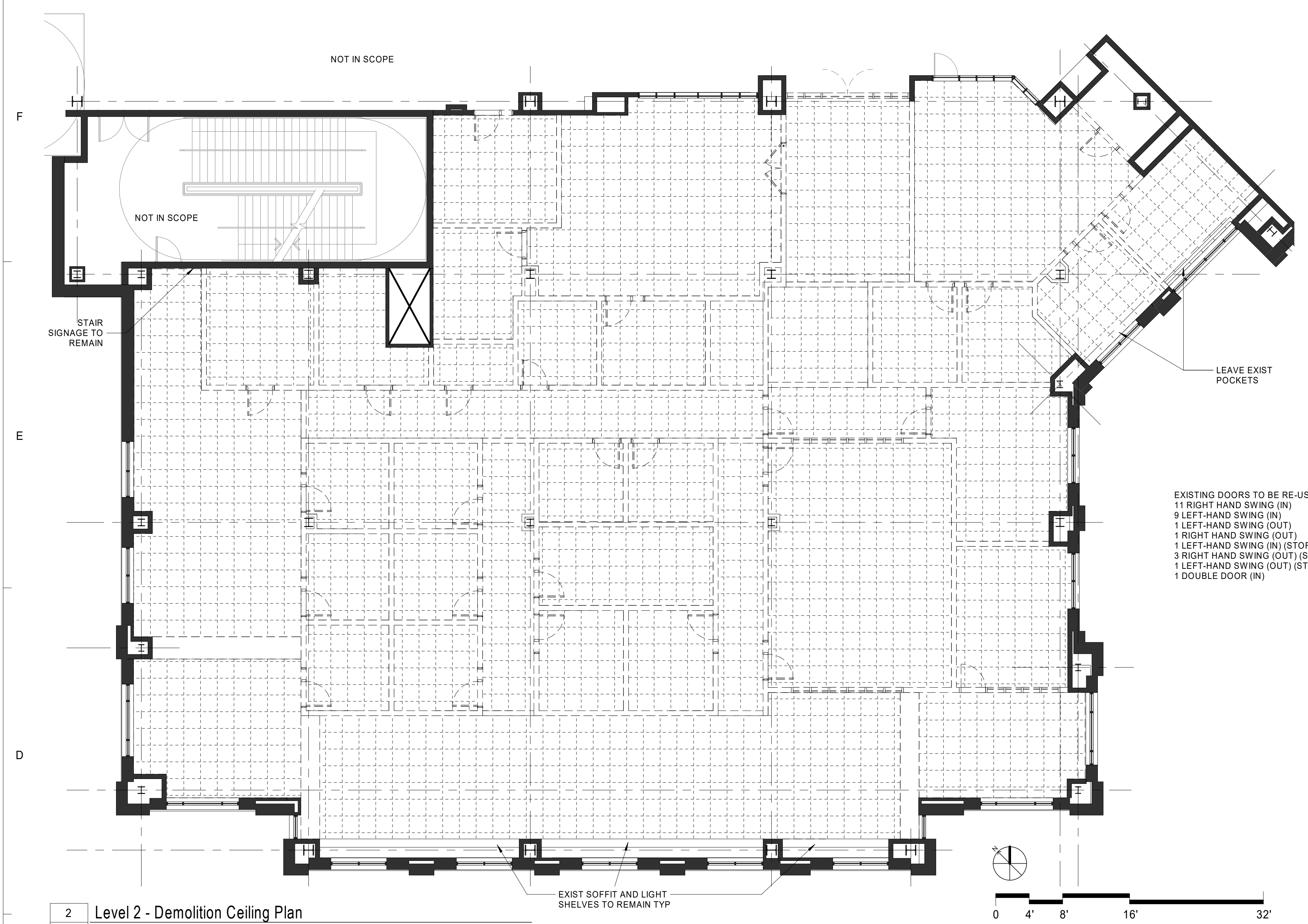
ISSUE DATE: 03/23/20

REVISIONS: NO. REASON DATE

PROJECT TEAM
PRINCIPAL IN CHARGE: SR
PROJECT MANAGER: AS
DESIGN TEAM: CE
PROJECT NAME: UNCC-SGO RENOVATIONS

SCO PROJECT #18-18336-01A
PROJECT NO.: 113-1001-00
SHEET TITLE: DEMOLITION FLOOR PLAN AND REFLECTED CEILING PLAN

SHEET NUMBER: AD111



3/19/2020 4:50:49 PM C:\Users\ashley.spinks\Documents\1131001000_SGO RENO_v20_A_jadisherspinks.rvt