

# PRE-BID MEETING

## AUGUST 29, 2017



New Atlantic  
CONTRACTING, INC.

# AGENDA

- **Introduction of Team**
- **Project Overview**
- **Issuance of Construction Documents**
- **Bid Packages**
- **Important Preconstruction Dates**
- **HUB Participation Requirements**
- **Project Schedule / Milestone Dates**
- **Questions**

# INTRODUCTION OF THE TEAM

## UNC CHARLOTTE

**Brian Kugler** – Senior Project Manager

**Doug Walters** – Construction Manager

**Dorothy Vick** – HUB Coordinator

## CONSTRUCTION MANAGER

**Glenn Wise** – Preconstruction Director

**Grady Dwiggin** – Project Engineer

**Joe Crompton** – Senior Project Manager

**Chris Zananiri** – Project Director

**Steve Tabor** – Project Superintendent

## DESIGNERS

**LS3P** – *Sharon Huot* AIA, CDT, LEED AP

**LS3P** – *Krissy Ferguson* AIA, CDT, LEED AP

**LAND DESIGN** – Civil

**SKA ENGINEERS** – Structural

**OPTIMA ENGINEERING** – MEPF Engineer

**KIMLEY HORN** – Road Improvement

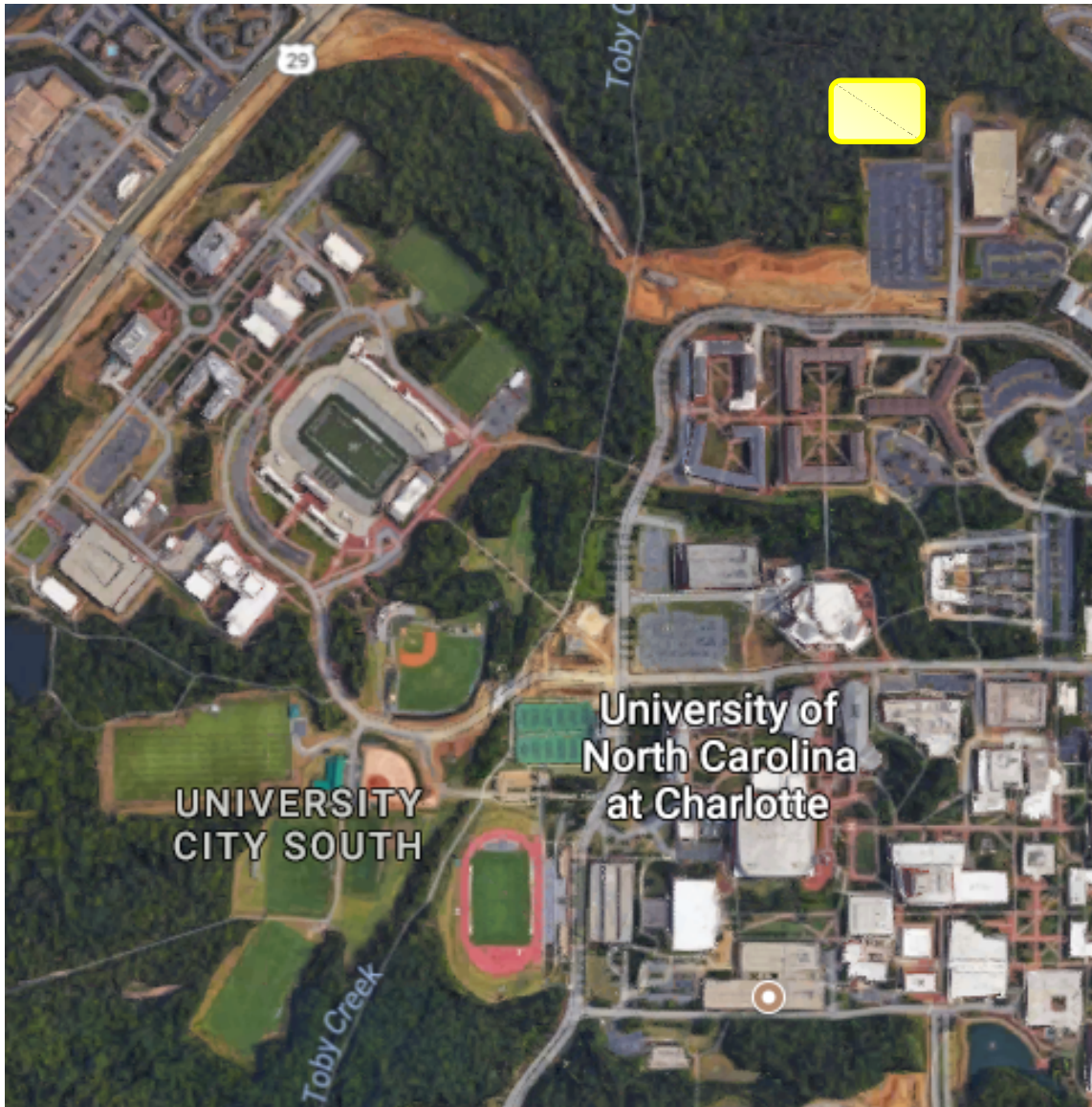
# PROJECT OVERVIEW

## EARLY SITE / STRUCTURAL PHASE

- 13 acres - *Currently underway*
- Site Demolition, Clearing, Grading, Utilities, Asphalt Paving, Curb & Gutter, Site Concrete, Building Concrete, Structural Steel, etc.

## BUILDING PHASE

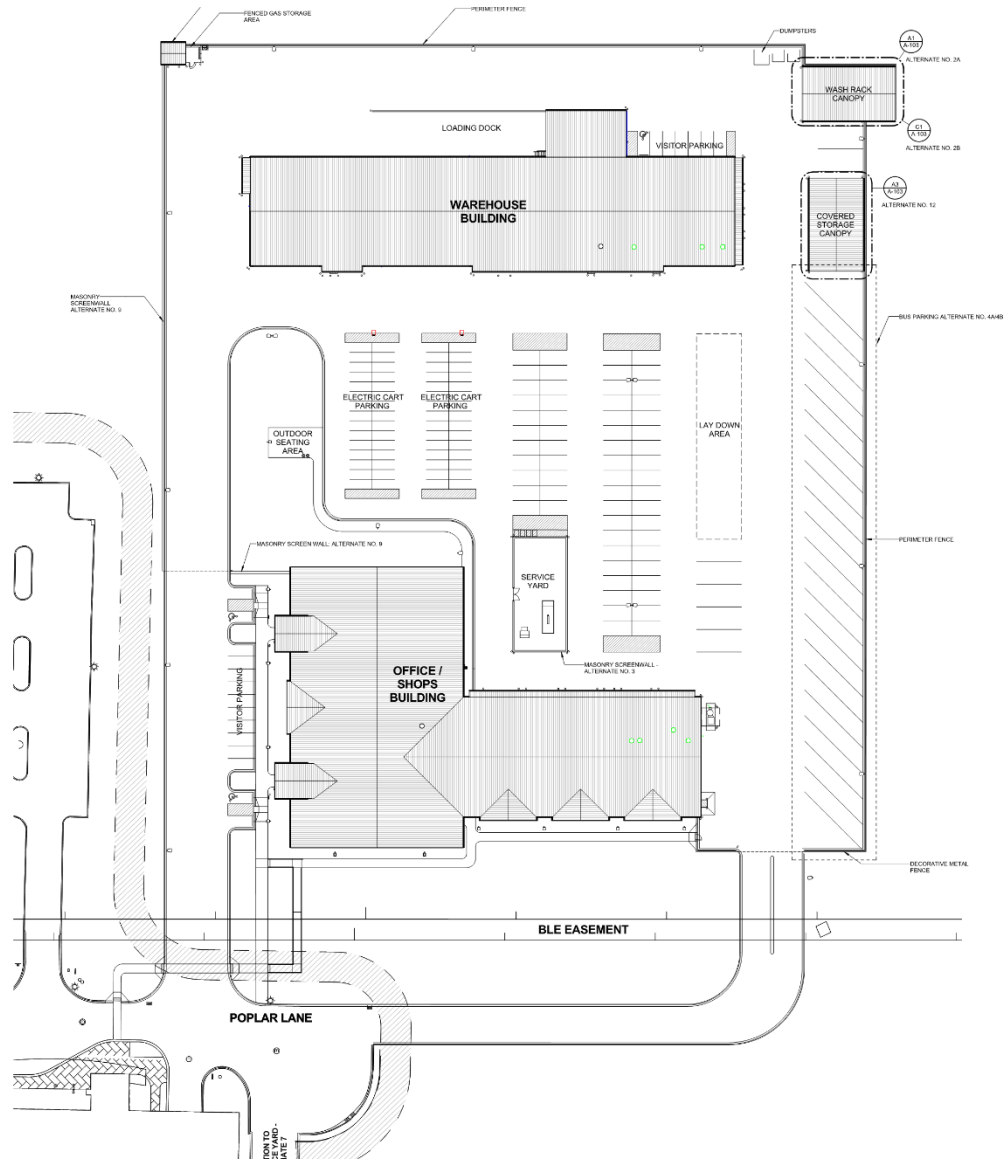
- Site Fencing, Polished Concrete, Masonry, Casework/Countertops, Waterproofing/Air Barriers, Joint Sealants, Roofing, Gutters & Downspouts, Doors/Frames/Hardware, Overhead Doors, Loading Dock Equipment, Storefront, Glass & Glazing, Gypsum Board Assemblies, Acoustical Ceilings, Tile, Carpet, VCT, LVT, Painting, Specialties, Signage, Metal Lockers, Window Treatments, Pre-Engineered Metal Buildings, Fire Protection, Plumbing, HVAC, Test & Balance, Electrical, Security, Fire Alarm, Telecom.

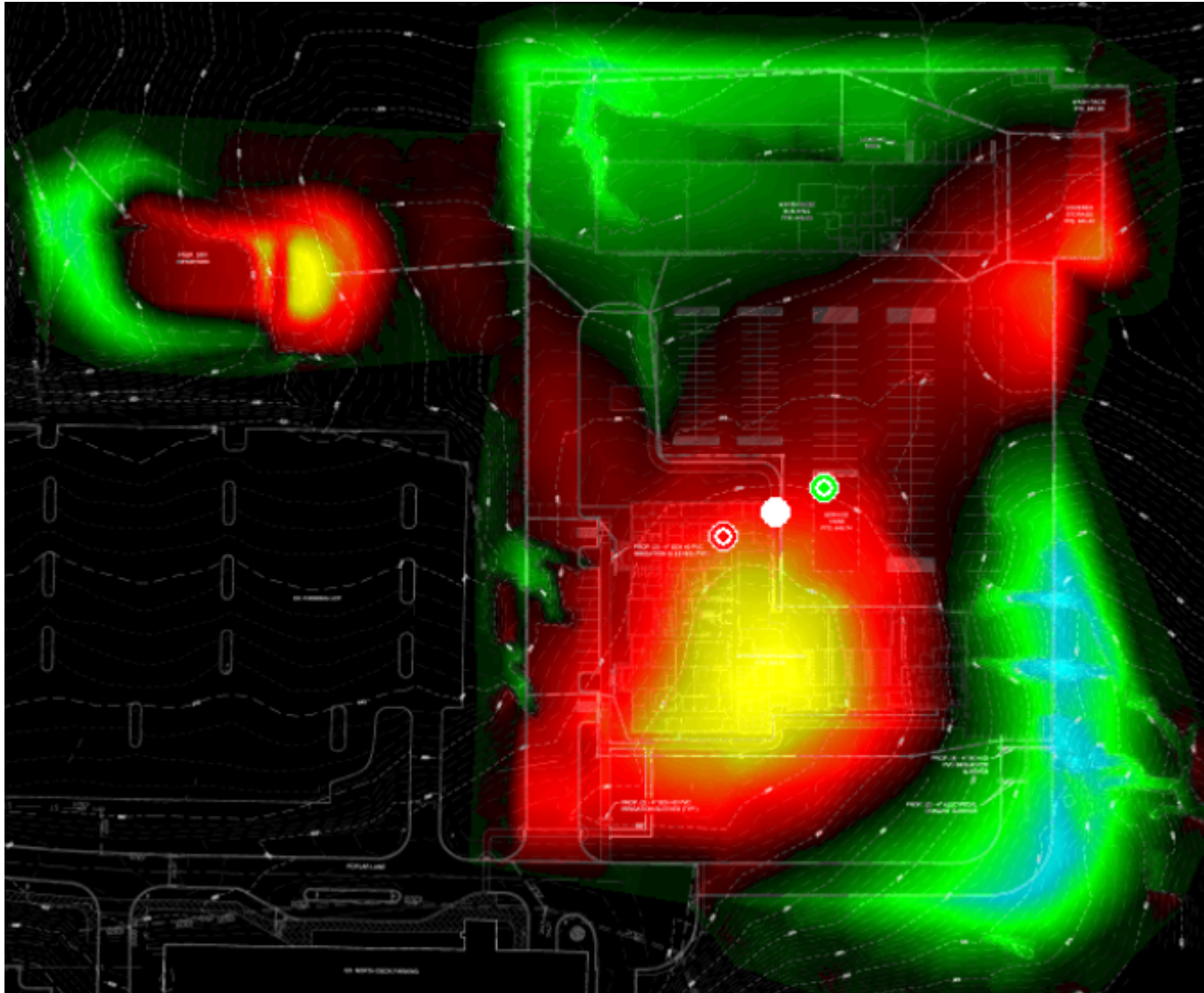


Project  
Located North  
of Lot 25,  
across Poplar  
Lane from the  
North Deck

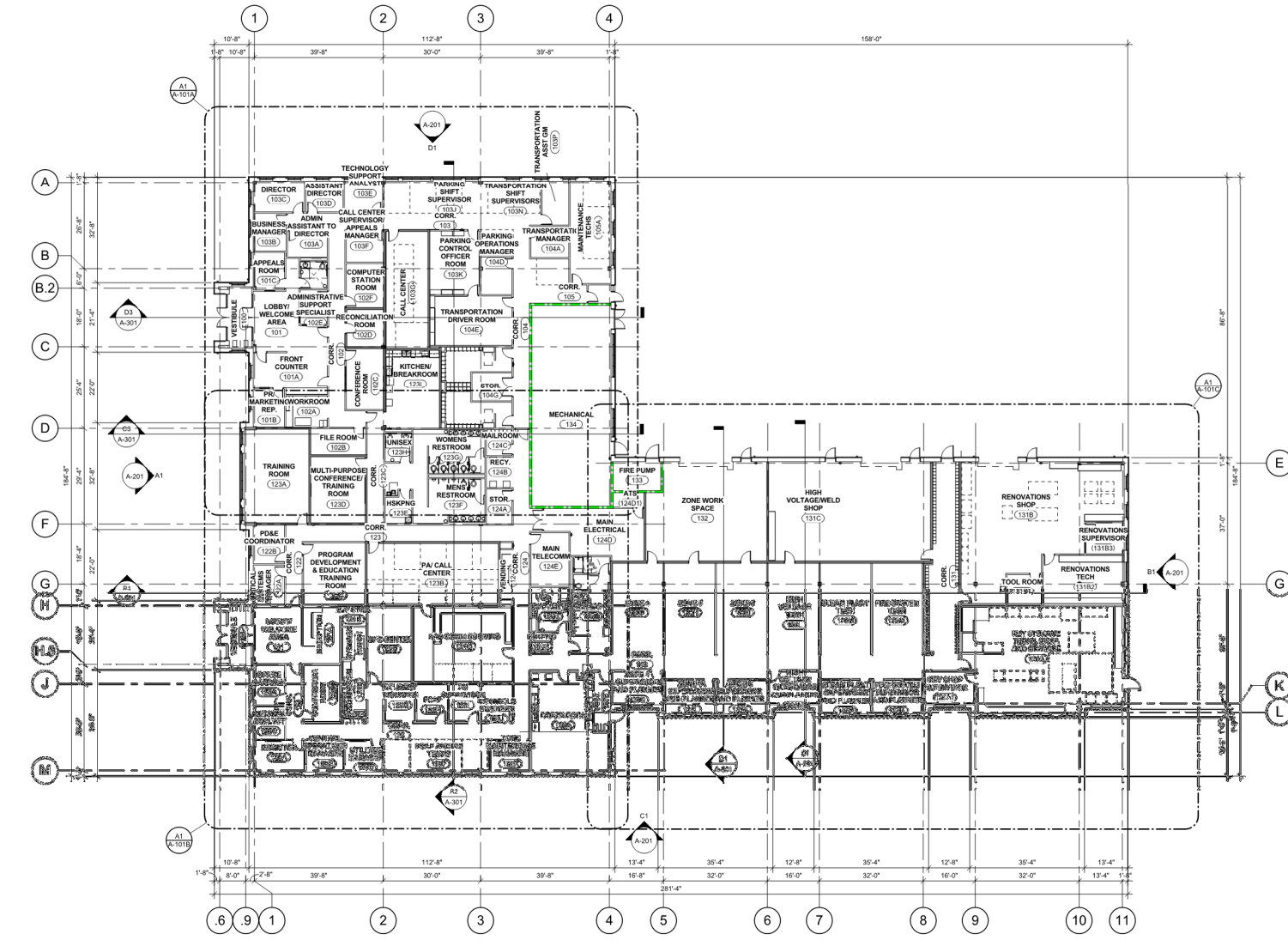


# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE



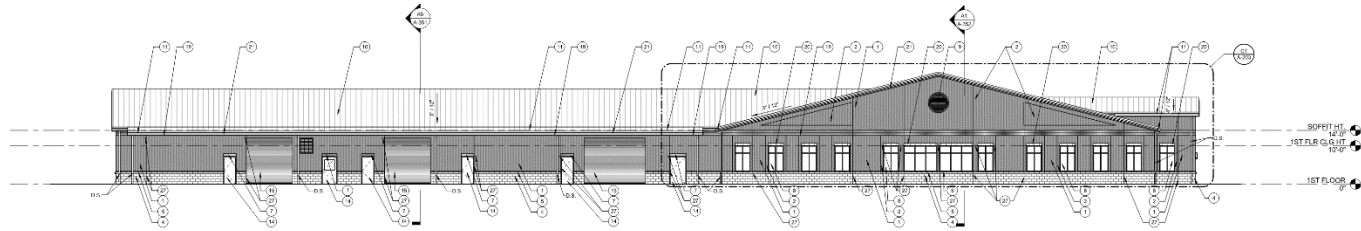




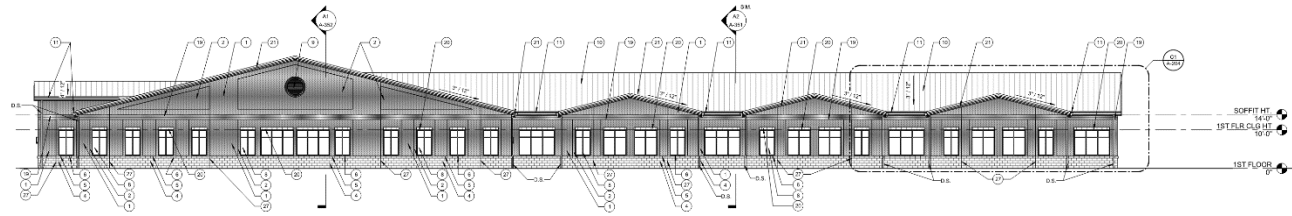


A1 OFFICE/SHOPS BUILDING OVERALL FLOOR PLAN  
1/8" = 1'-0"

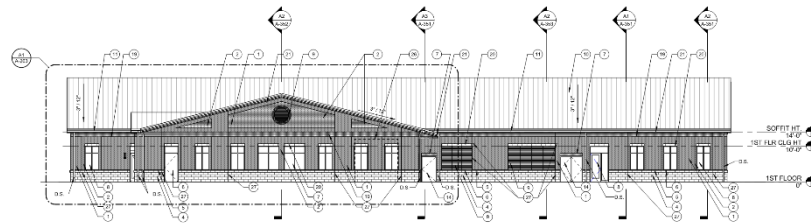
# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE



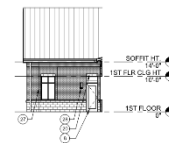
D1 NORTH - OFFICE/SHOPS  
3/8" = 1'-0"



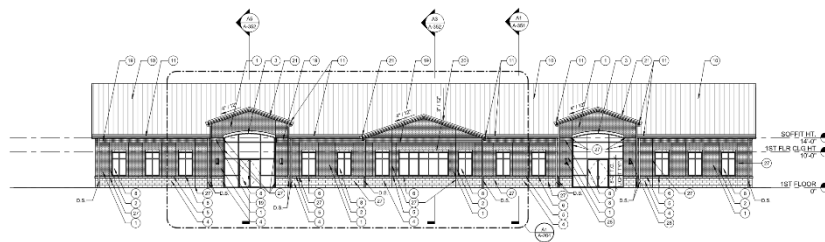
C1 SOUTH - OFFICE/SHOPS  
3/8" = 1'-0"



B1 EAST - OFFICE/SHOPS  
3/8" = 1'-0"

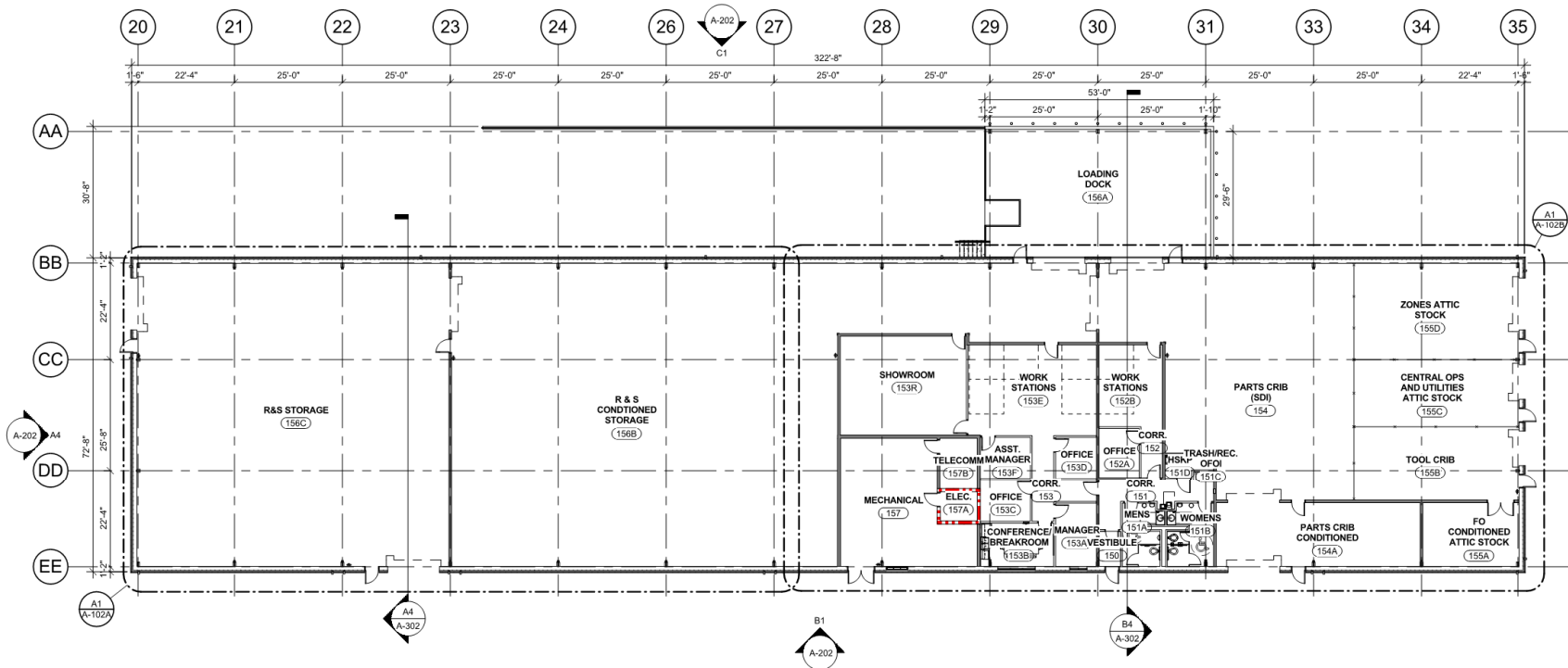


B4 EAST - PARTIAL ELEV AT DOOR 130EA  
3/8" = 1'-0"



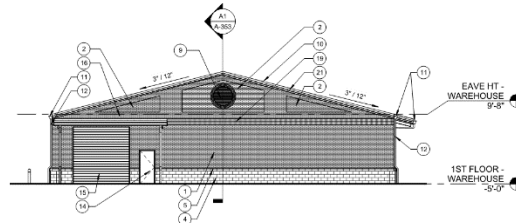
A1 WEST - OFFICE/SHOPS  
3/8" = 1'-0"

# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

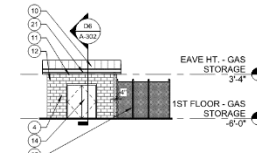


**A1** WAREHOUSE OVERALL FLOOR PLAN  
1/16" = 1'-0"

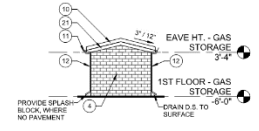
# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE



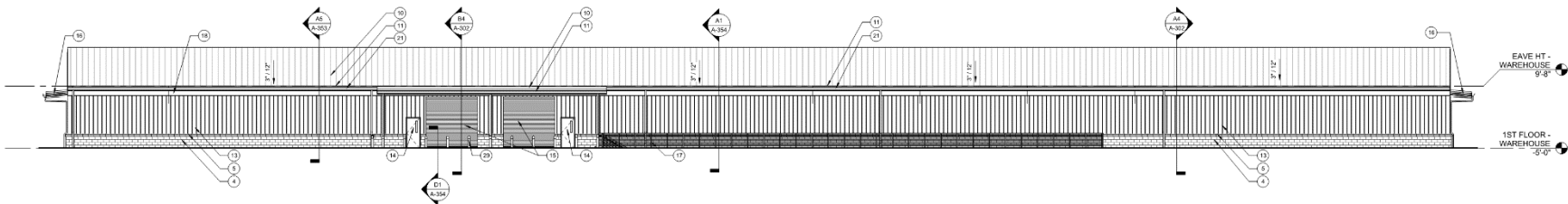
D3 WEST - WAREHOUSE - ALTERNATE NO. 1  
332' x 1'-0"



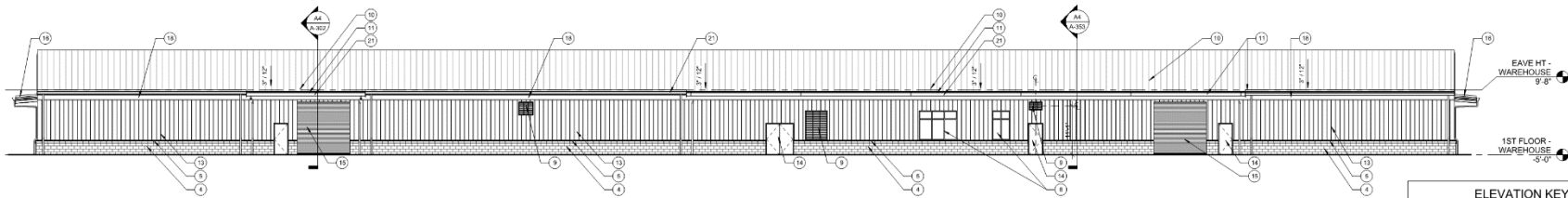
D5 SOUTH - GAS STORAGE  
332' x 1'-0"



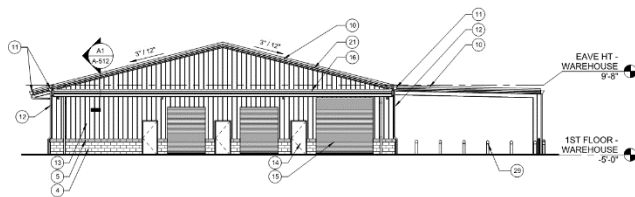
D6 WEST - GAS STORAGE  
332' x 1'-0"



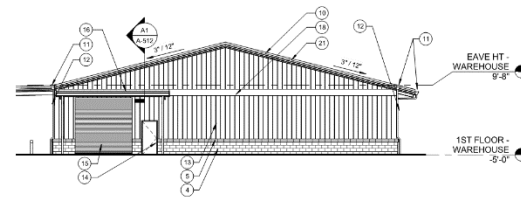
C1 NORTH - WAREHOUSE  
332' x 1'-0"



B1 SOUTH - WAREHOUSE  
332' x 1'-0"



A1 EAST - WAREHOUSE  
332' x 1'-0"

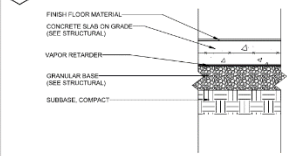
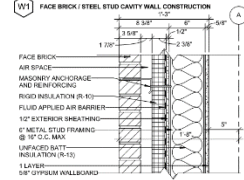
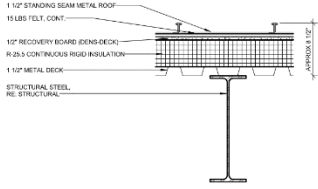
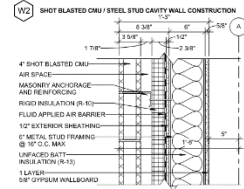
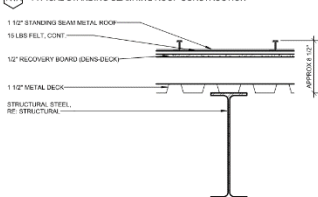
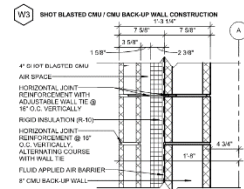
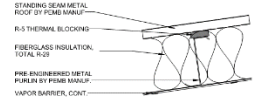
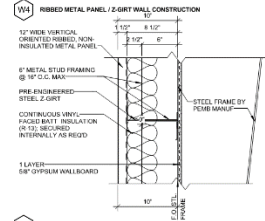
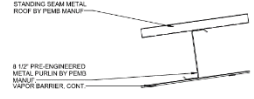
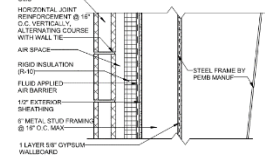


A4 WEST - WAREHOUSE  
332' x 1'-0"

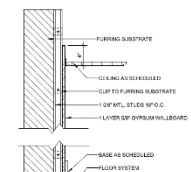
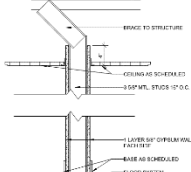
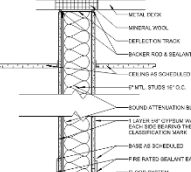
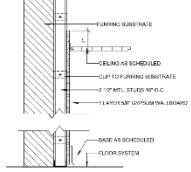
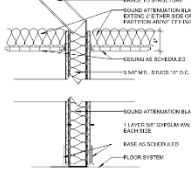
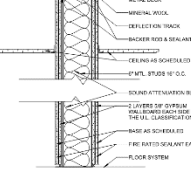
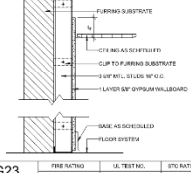
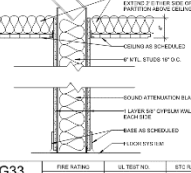
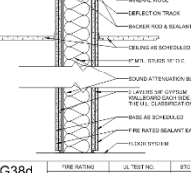
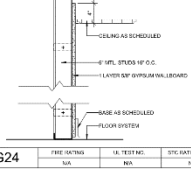
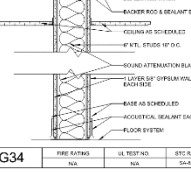

**ELEVATION KEYED NOTES**

- 1 FACE BRICK - RUNNING BOND
- 1' RECESSED FACE BRICK - RUNNING BOND
- 2 CAST STONE LINTEL - SPINAL COLOR TO BE APPROVED BY ARCHITECT
- 3 SHOTBLASTED CMU - RUNNING BOND
- 4 SHOTBLASTED CMU - WATERTABLE
- 5 SHOTBLASTED CMU SILL
- 6 BRICK SOLDIER COURSE HEADER
- 7 ALUMINUM STOREFRONT
- 8 ALUMINUM LOUVERS
- 9 STANDING SEAM METAL ROOF
- 10 6 1/2" W x 3" H ALUMINUM GUTTER, PREFINISHED
- 11 2 3/4" x 4 1/4" ALUMINUM DOWNSPOUT, PREFINISHED
- 12 METAL PANEL (VERTICAL, DIRECTICAL), PREFINISHED
- 13 INSULATED HM DOOR AND FRAME
- 14 INSULATED OVERHEAD DOOR
- 15 PRE-ENGINEERED METAL CANOPY
- 16 GUARDRAIL, RE - CIVIL
- 17 METAL PANEL TRIM
- 18 DOUBLE SOLDIER COURSE FACE BRICK
- 19 CAST STONE HEADER
- 20 PREFINISHED ALUM FASCIA AND VENTED SOFFIT
- 21 HM DOOR AND FRAME
- 22 OVERHEAD DOOR
- 23 PRE-ENGINEERED METAL CANOPY, FASCIA AND TRIM
- 24 CHAINLINK FENCE, RE - CIVIL
- 25 DUST COLLECTOR, RE - MECH
- 26 CONTROL JOINT, REFER TO CE AND DE ON A-802
- 27 EXTERIOR LIGHT - RE - ELECTRICAL
- 28 BOLLARD - RE - CIVIL

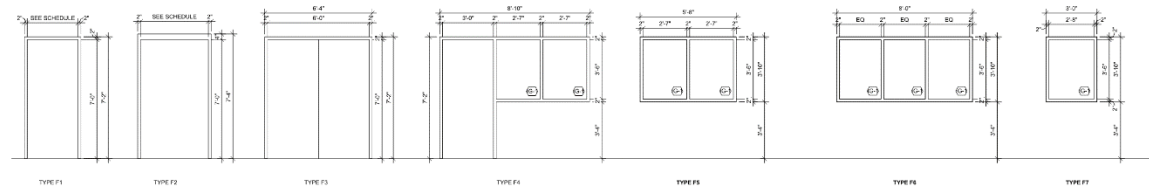
# Exterior Walls & Roofing

CONSTRUCTION SUBSYSTEMS			CONSTRUCTION SUBSYSTEMS			CONSTRUCTION SUBSYSTEMS		
SYMBOL	DESCRIPTION	FIRE AND SOUND RATING REFERENCE	SYMBOL	DESCRIPTION	FIRE AND SOUND RATING REFERENCE	SYMBOL	DESCRIPTION	FIRE AND SOUND RATING REFERENCE
<b>FLOOR SYSTEMS</b> (S1) TYPICAL SLAB ON GRADE CONSTRUCTION 			<b>EXTERIOR WALL SYSTEMS</b> (W1) FACE BRICK / STEEL STUD CAVITY WALL CONSTRUCTION 			<b>ROOF SYSTEMS</b> (R1) TYPICAL STANDING SEAM METAL ROOF CONSTRUCTION 		
			(W2) SHOT-BLASTED CMU / STEEL STUD CAVITY WALL CONSTRUCTION 			(R1A) TYPICAL STANDING SEAM MTL ROOF CONSTRUCTION 		
			(W3) SHOT-BLASTED CMU / CMU BACKUP WALL CONSTRUCTION 			(R2) TYPICAL PRE-ENGINEERED METAL BLDG ROOF CONSTRUCTION 		
			(W4) RIBBED METAL PANEL / Z-GIRT WALL CONSTRUCTION 			(R2A) TYPICAL PRE-ENGINEERED METAL BLDG ROOF CONSTRUCTION 		
			(W5) SHOT-BLASTED CMU / Z-GIRT WALL CONSTRUCTION 					

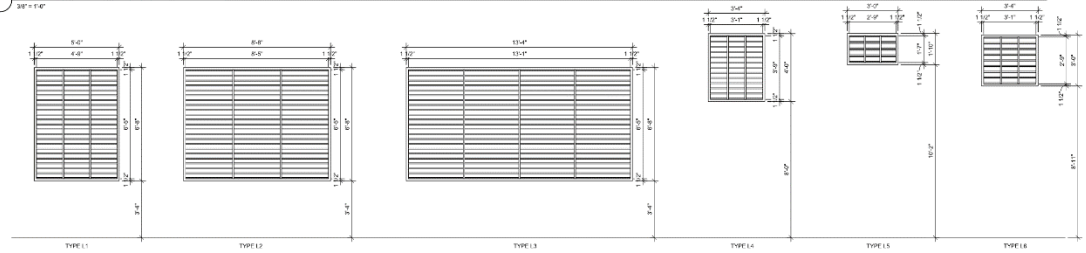
# Interior Partitions

		
<p>G21 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: N/A</p>	<p>G31 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: N/A</p>	<p>G36b FIRE RATING: 1-HOUR UL TEST NO.: UFTS STC RATING: 48-54/STC77</p>
		
<p>G22 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: N/A</p>	<p>G32 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: 48-54/STC77</p>	<p>G37b FIRE RATING: 1-HOUR UL TEST NO.: UFTS STC RATING: 52-58/STC71-106</p>
		
<p>G23 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: N/A</p>	<p>G33 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: 48-54/STC77</p>	<p>G38d FIRE RATING: 1-HOUR UL TEST NO.: UFTS STC RATING: 52</p>
		
<p>G24 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: N/A</p>	<p>G34 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: 48-54/STC77</p>	<p>G35 FIRE RATING: N/A UL TEST NO.: N/A STC RATING: 52-58/STC71-106</p>

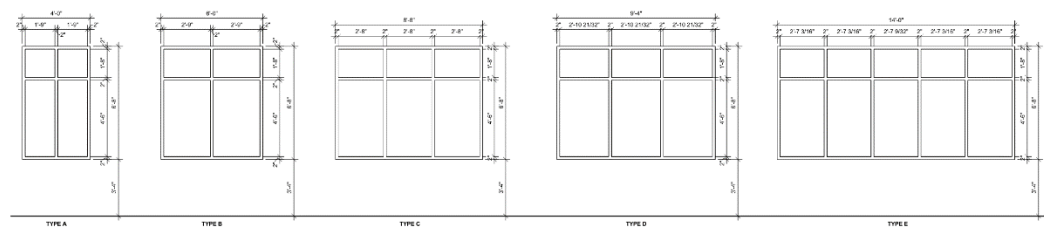
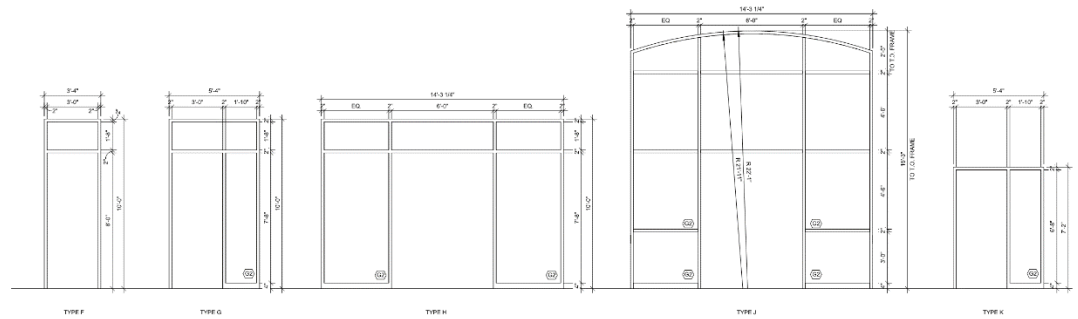
# Frames, Storefront, Glass, & Louvers



HOLLOW METAL FRAME ELEVATIONS  
3/8" = 1'-0"

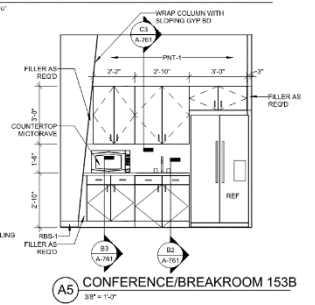
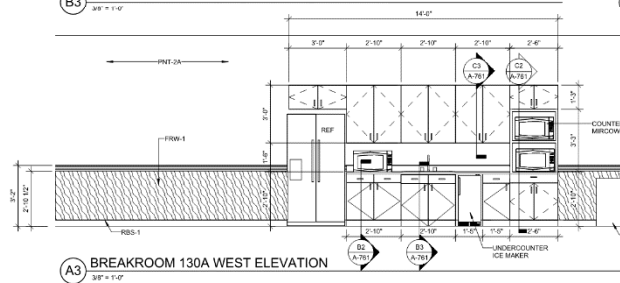
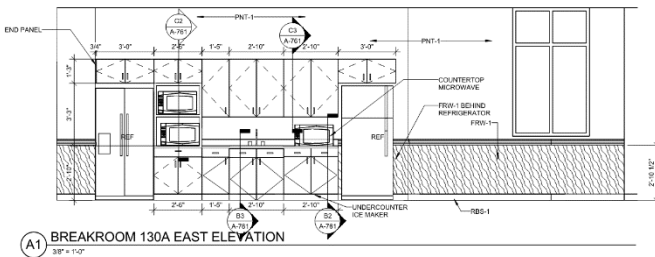
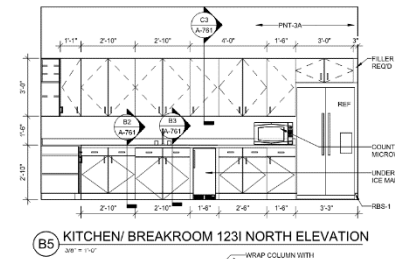
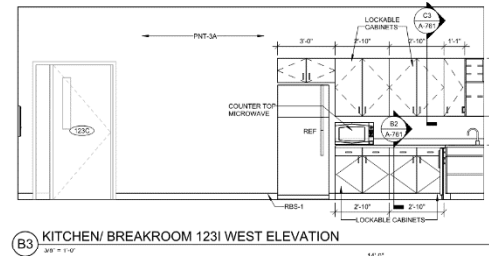
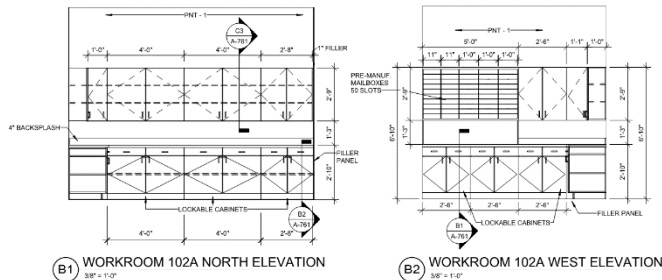
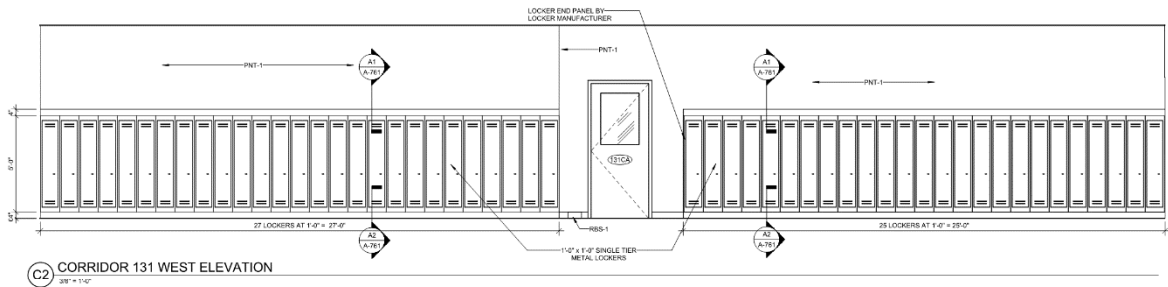
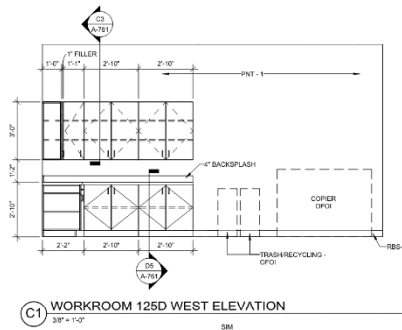


LOUVER ELEVATIONS  
3/8" = 1'-0"



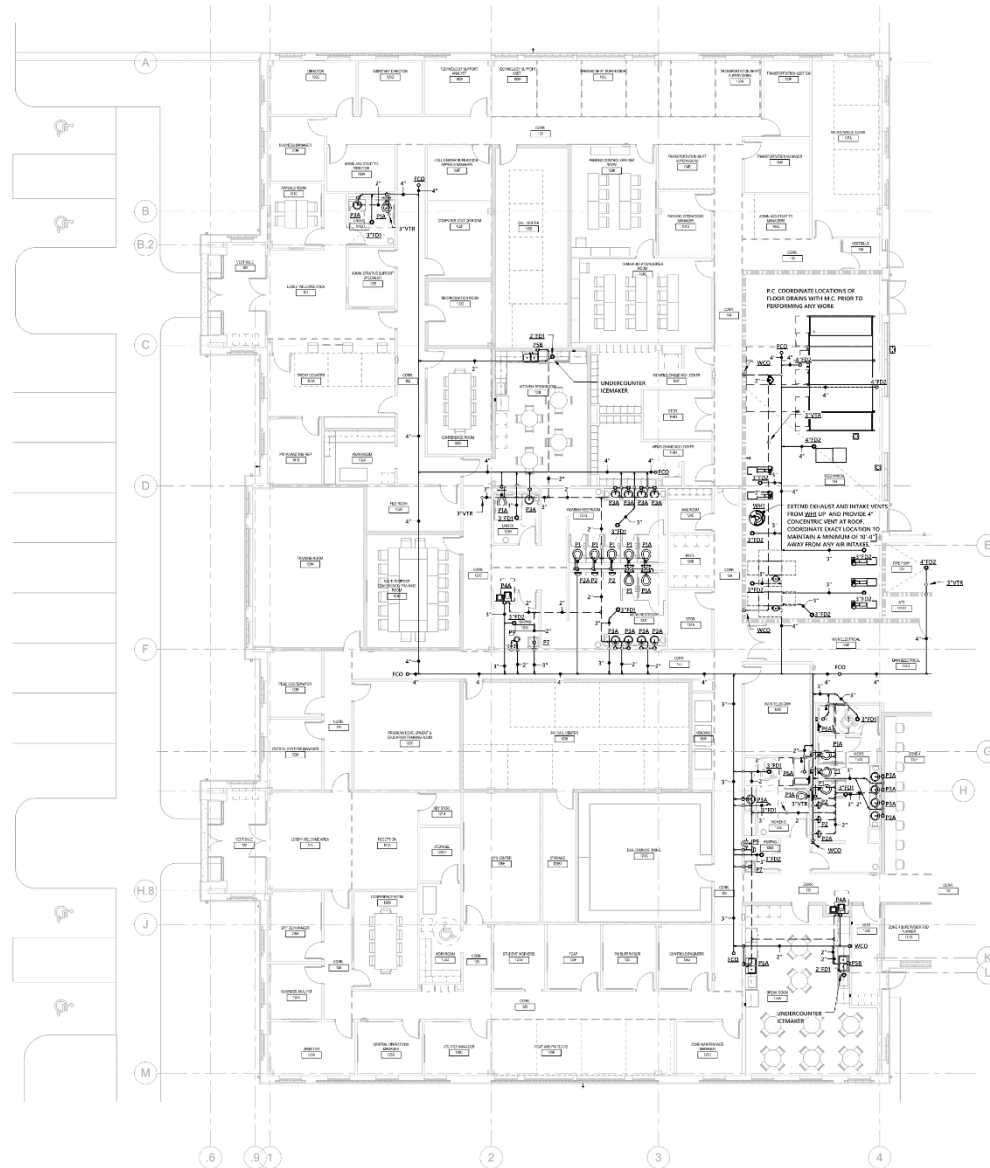
ALUMINUM STOREFRONT ELEVATIONS  
3/8" = 1'-0"

# Interior Elevations

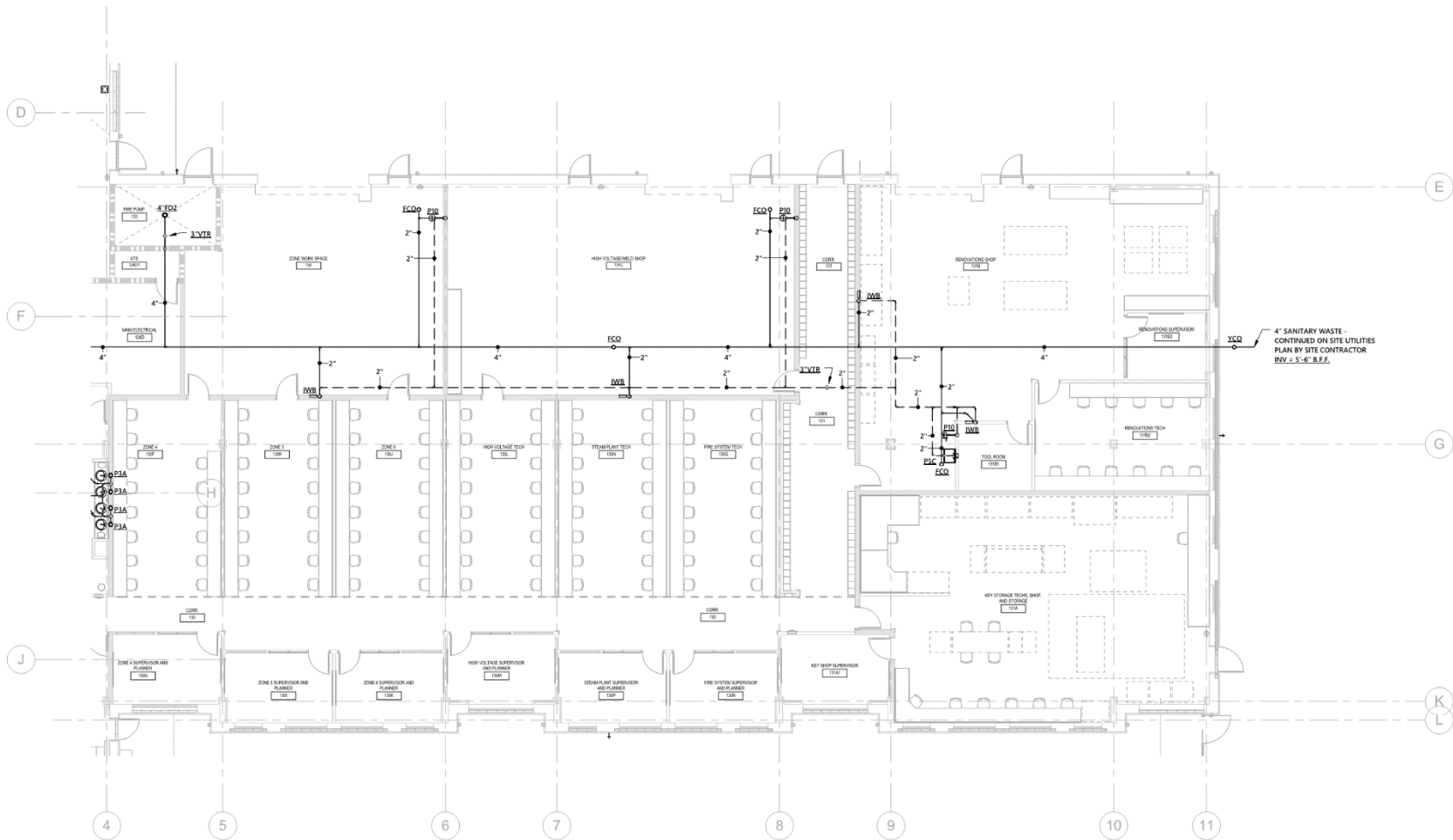




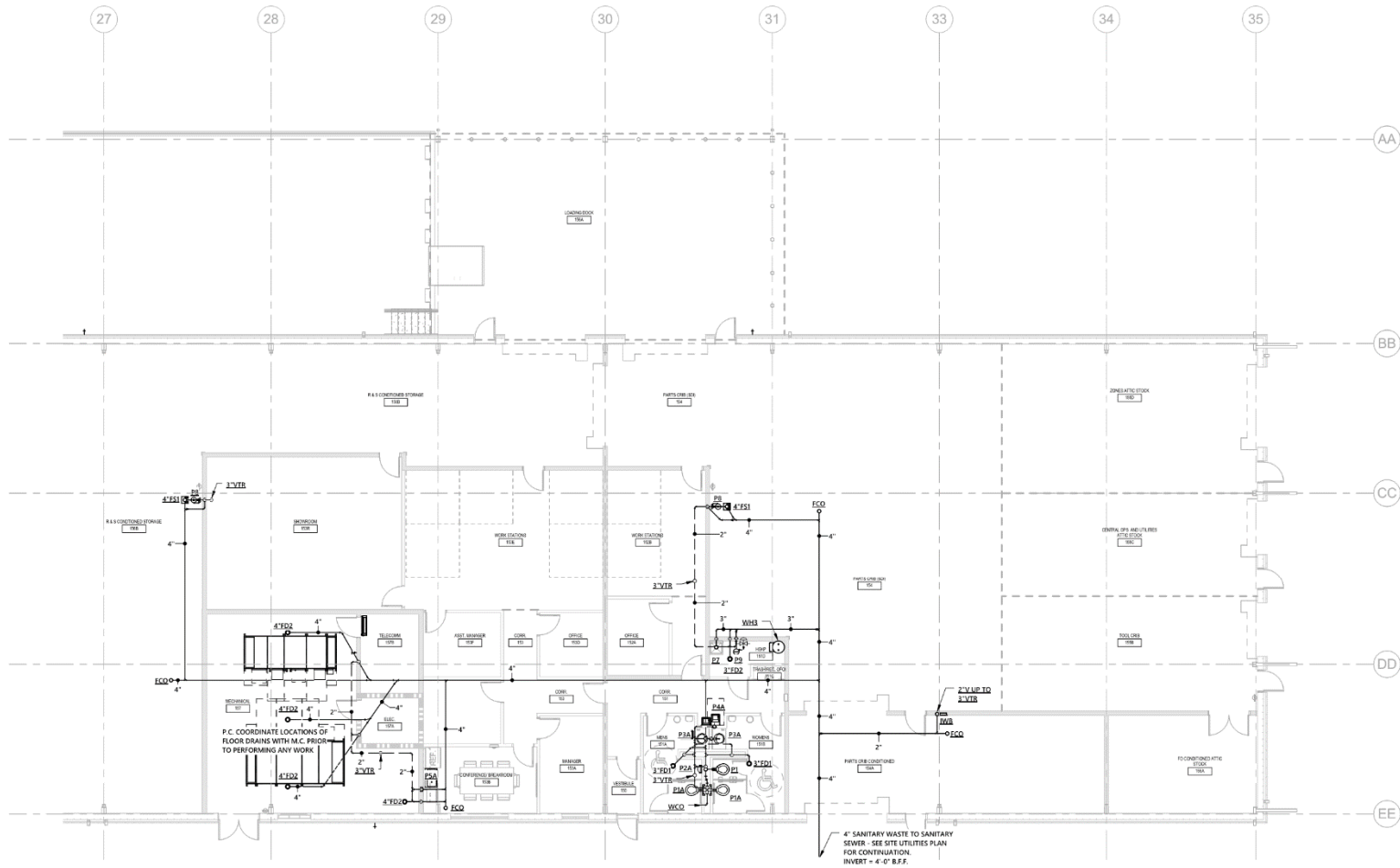
# Plumbing – Office/Shops



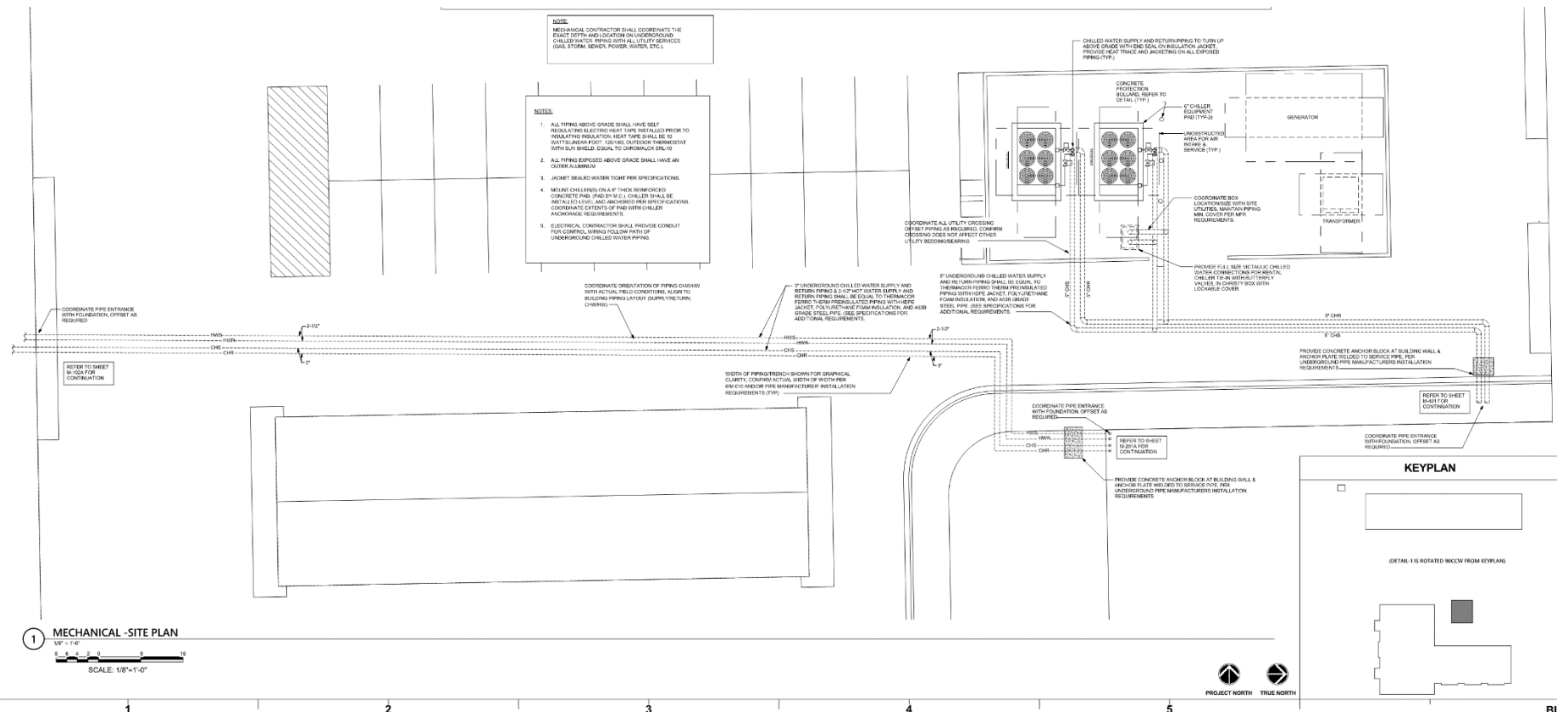
# Plumbing – Office/Shops



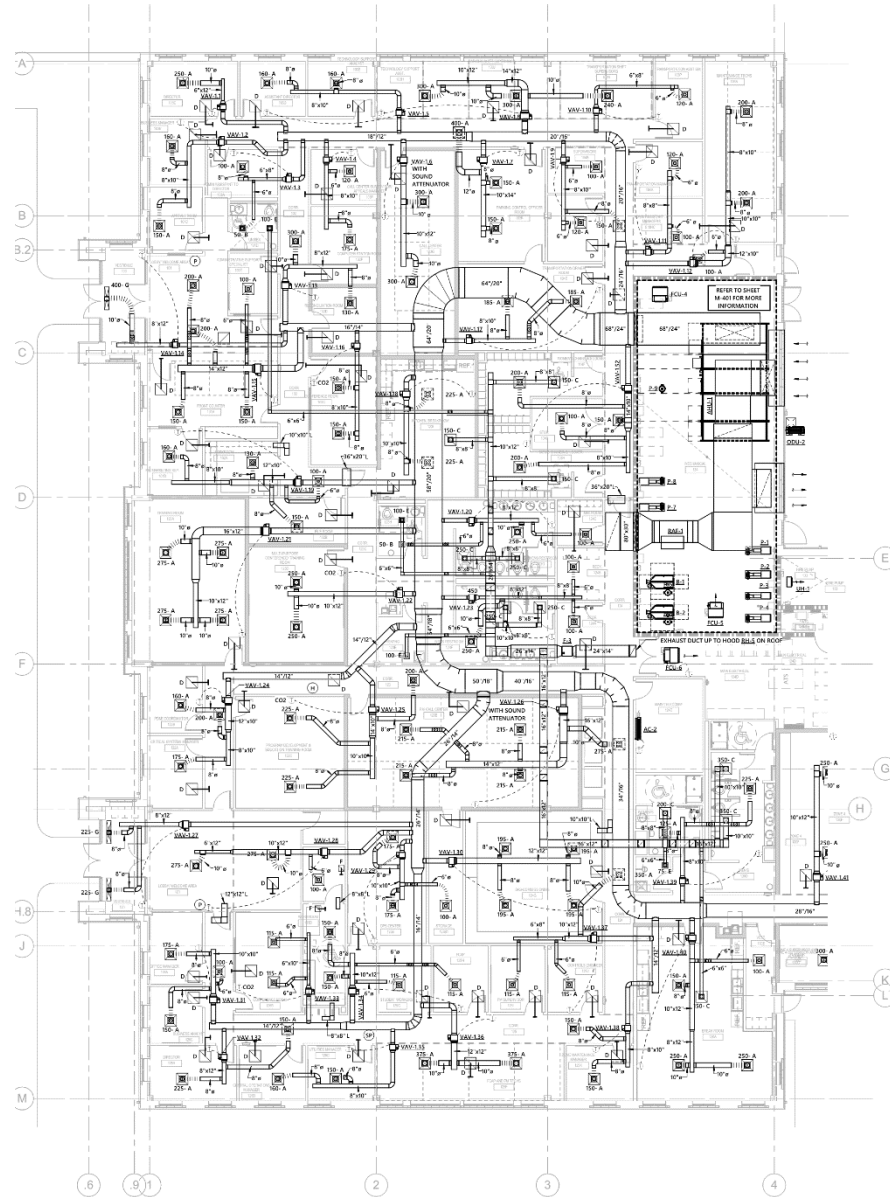
# Plumbing - Warehouse



## Mechanical – Site

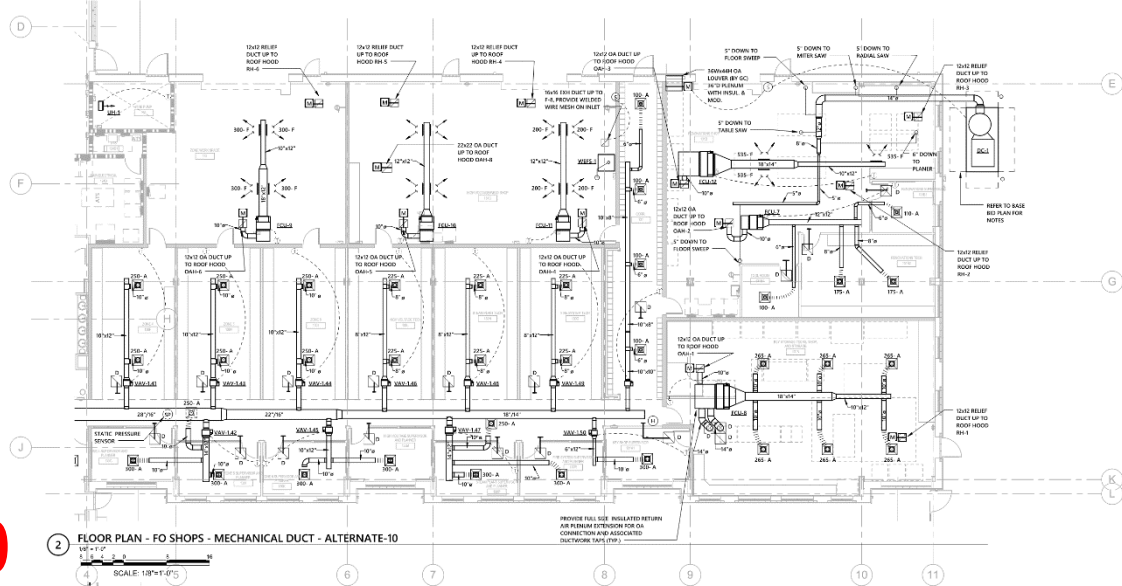


# Mechanical – Office/Shops

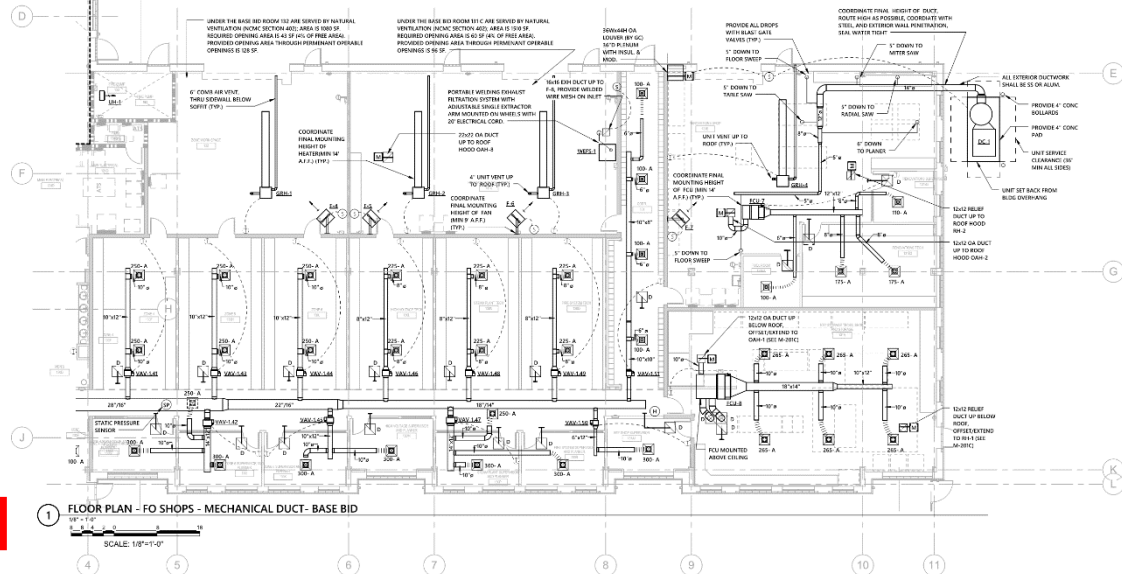


# Mechanical – Office/Shops

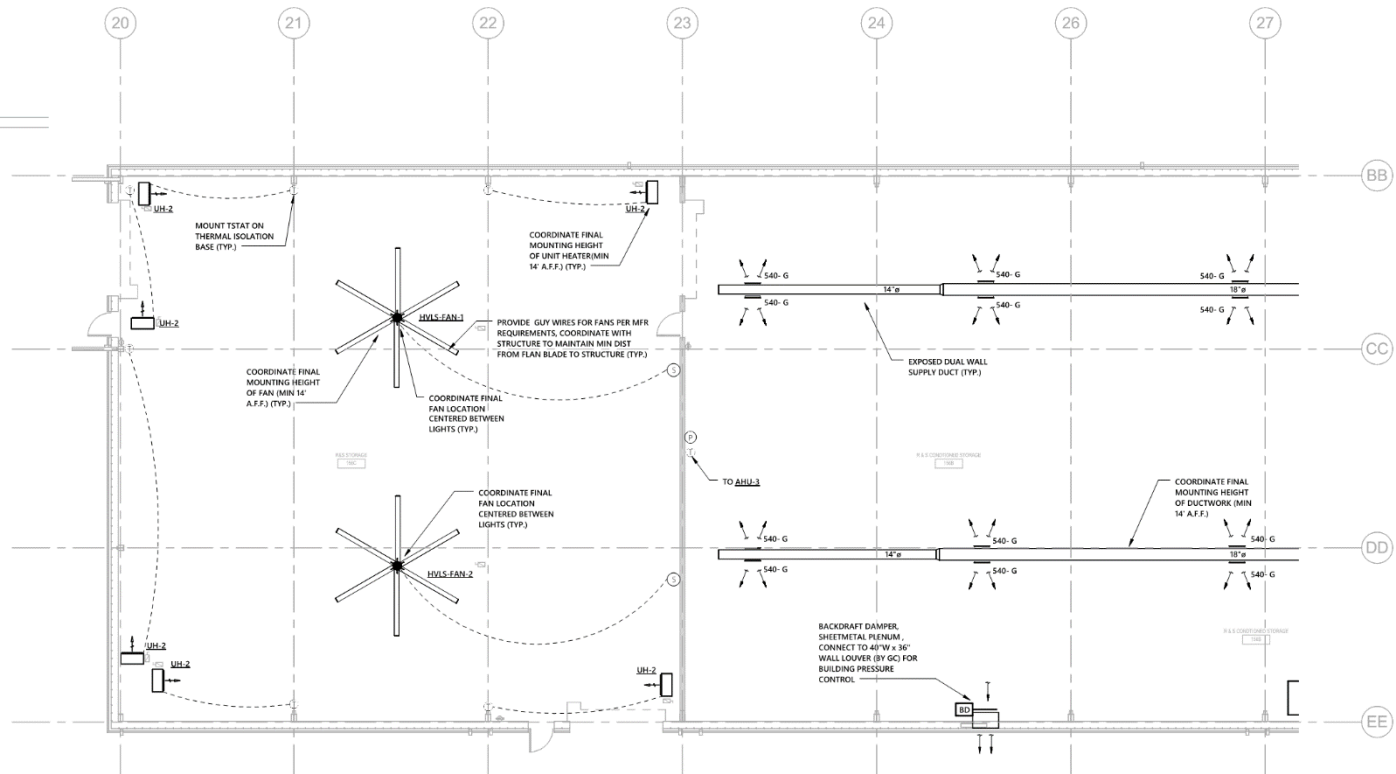
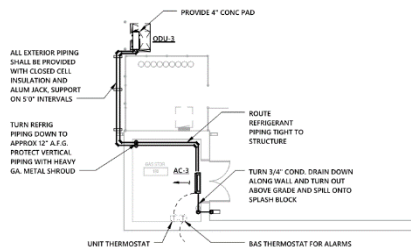
## Alternate #10



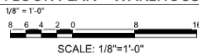
## Base Bid



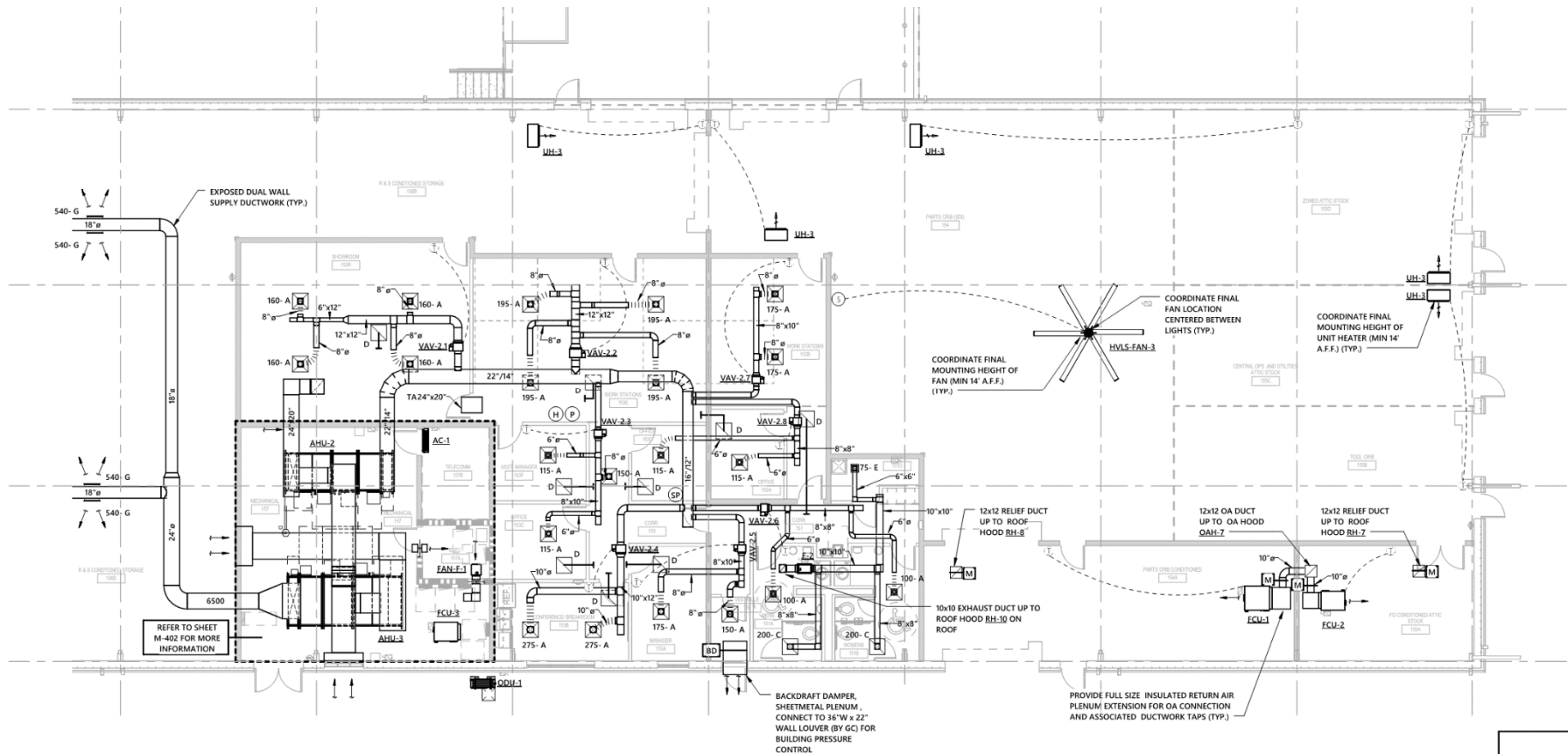
# Mechanical - Warehouse



1 FLOOR PLAN - WAREHOUSE - MECHANICAL DUCT - WEST

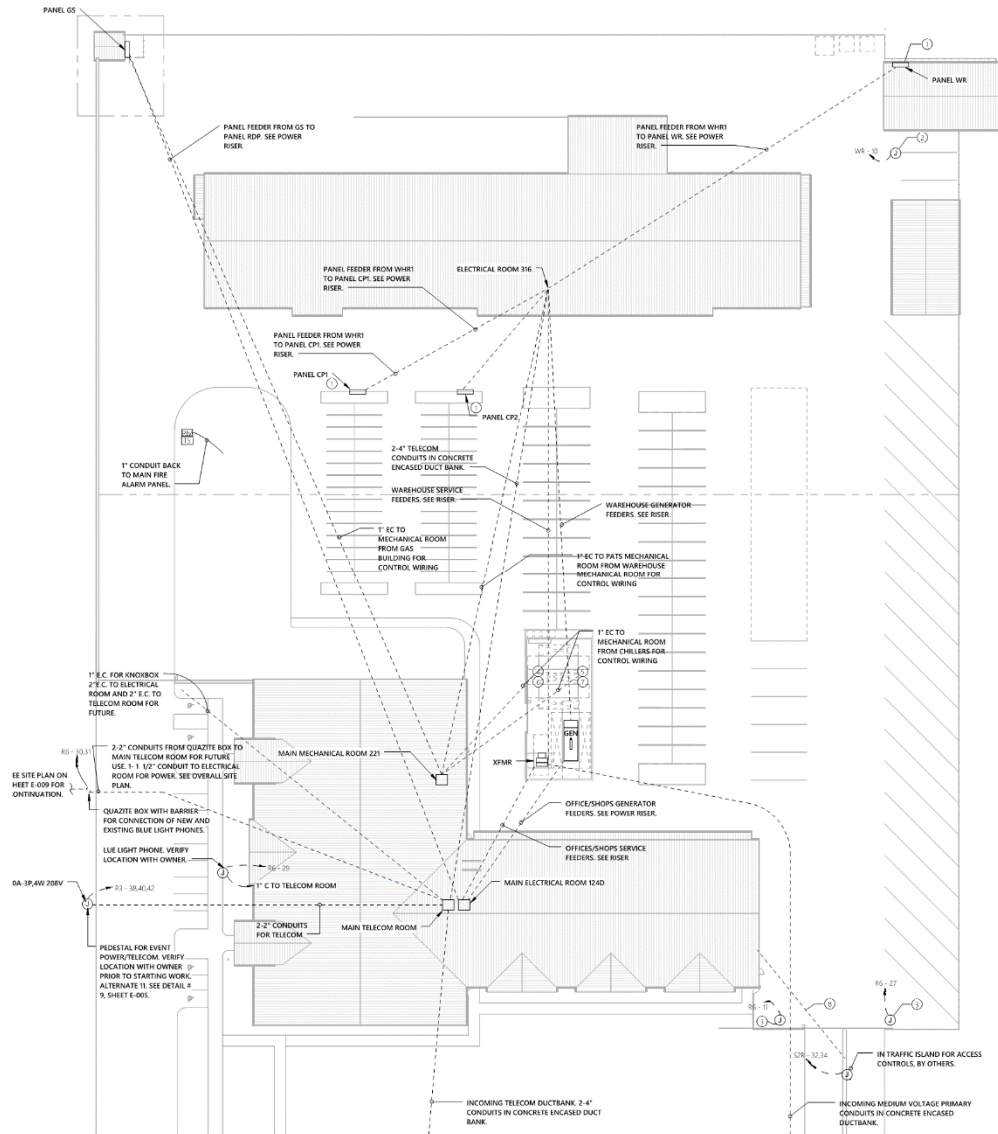


# Mechanical - Warehouse

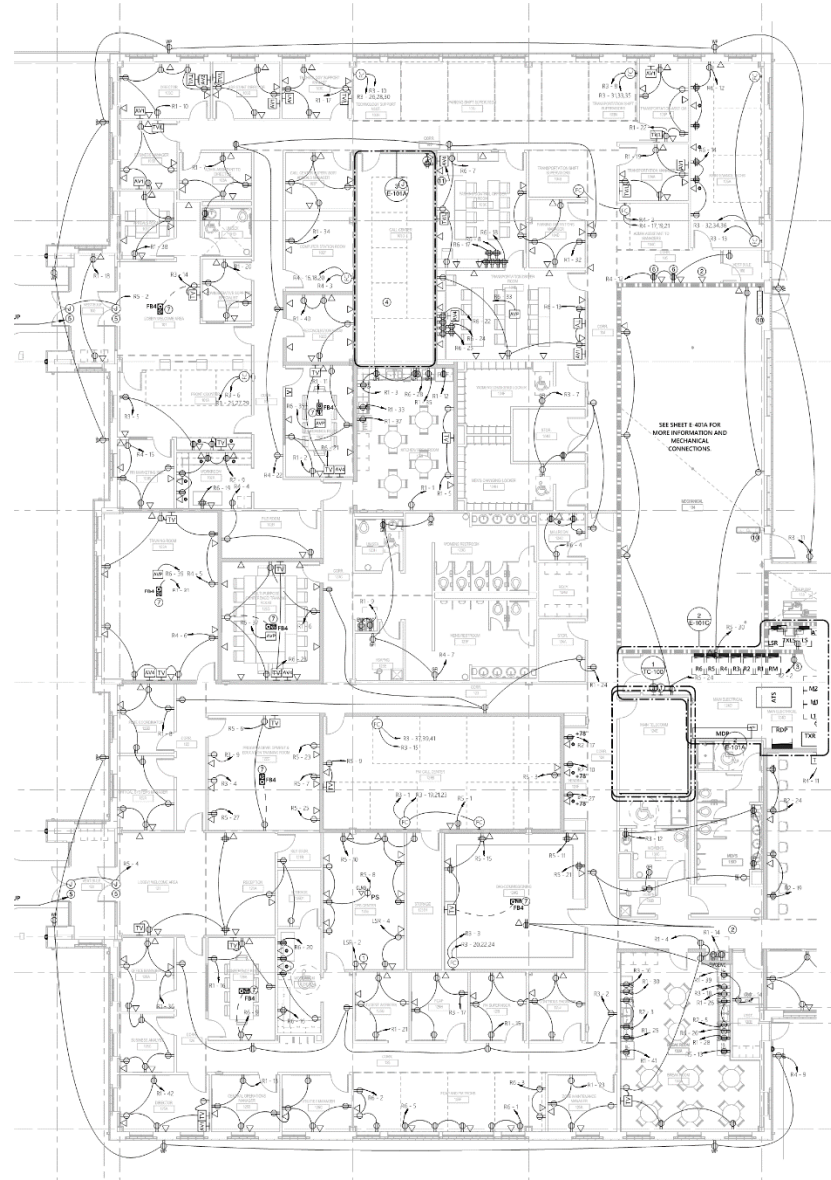




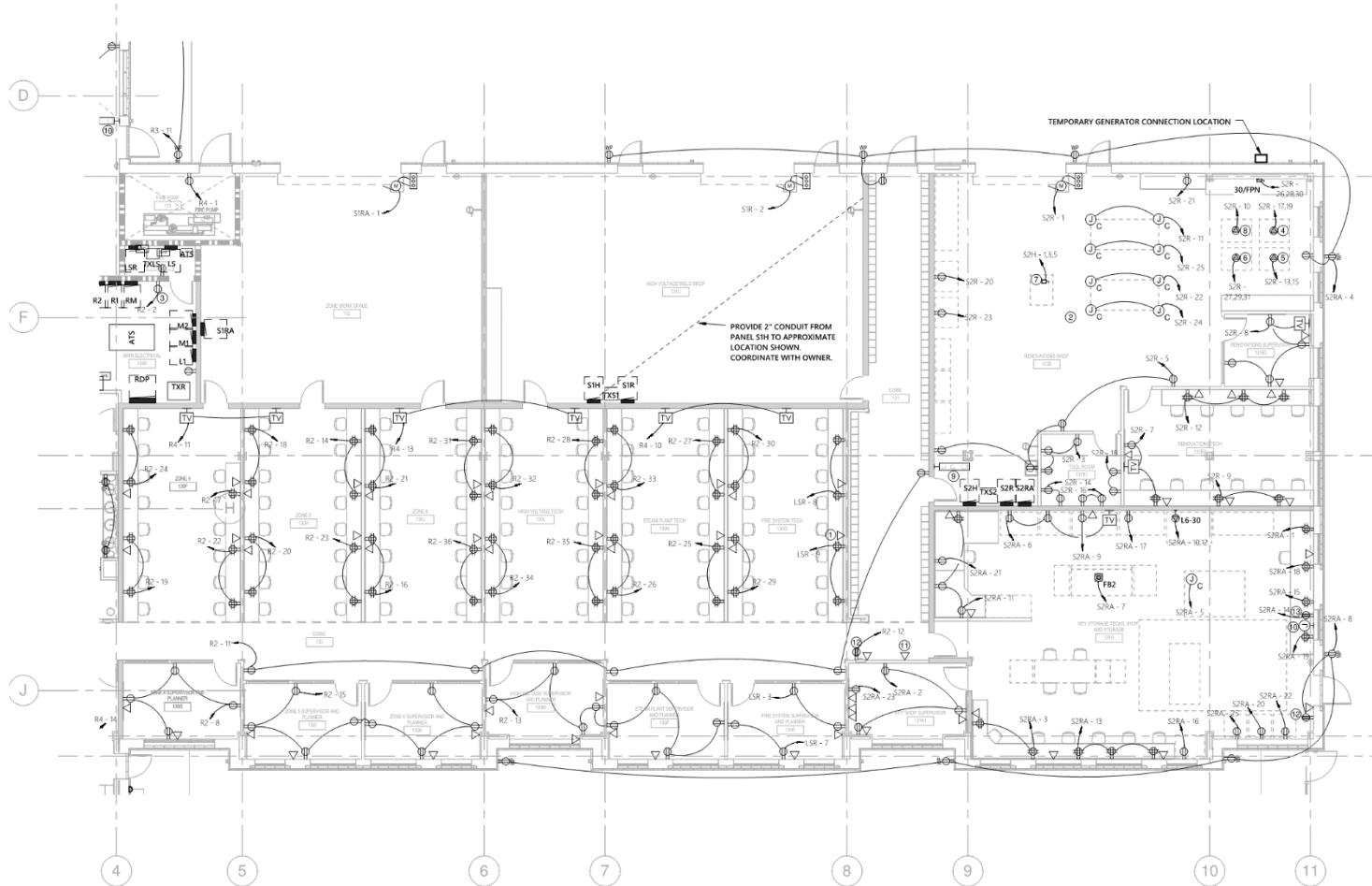
## Electrical – Site



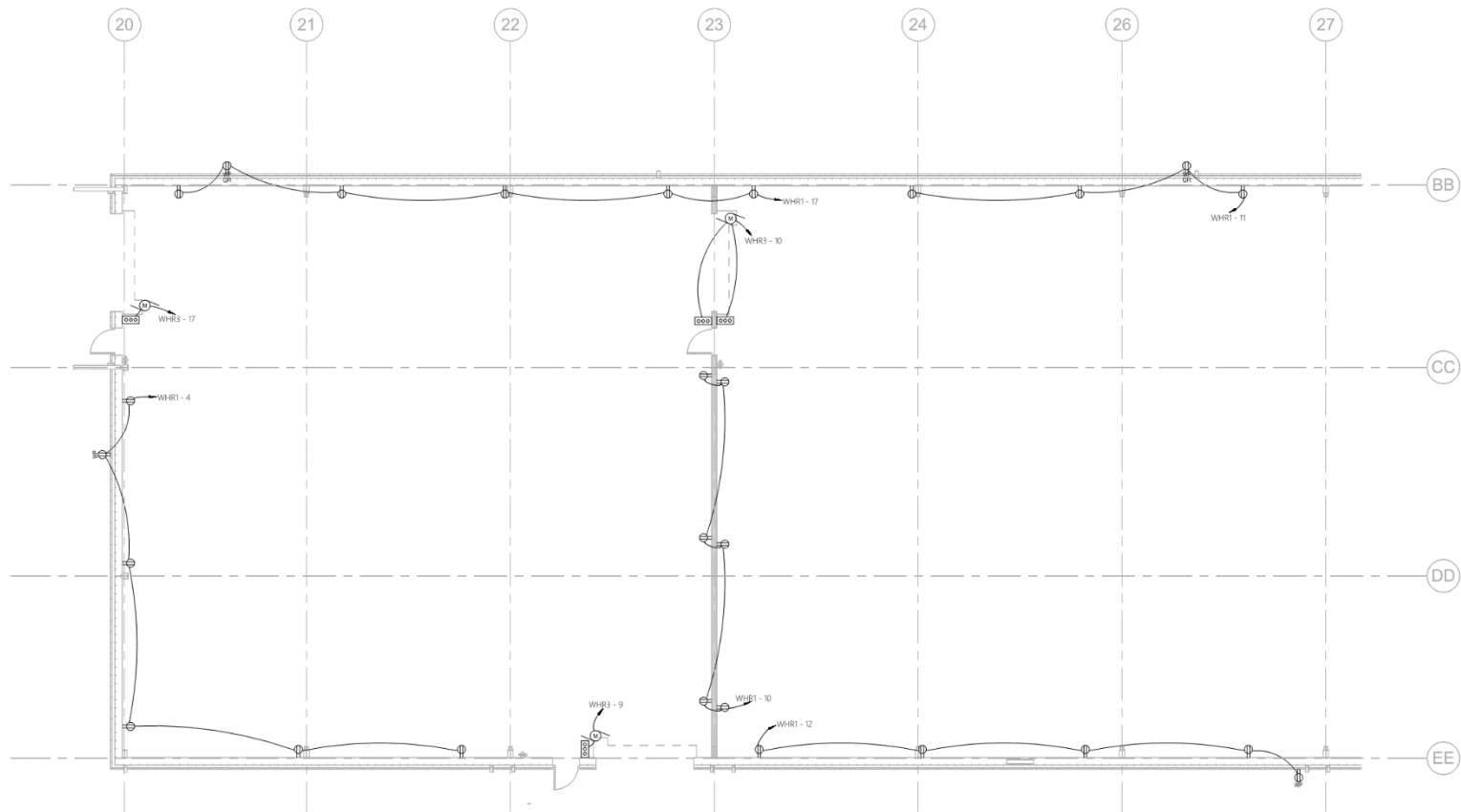
# Electrical – Office/Shops



# Electrical – Office/Shops

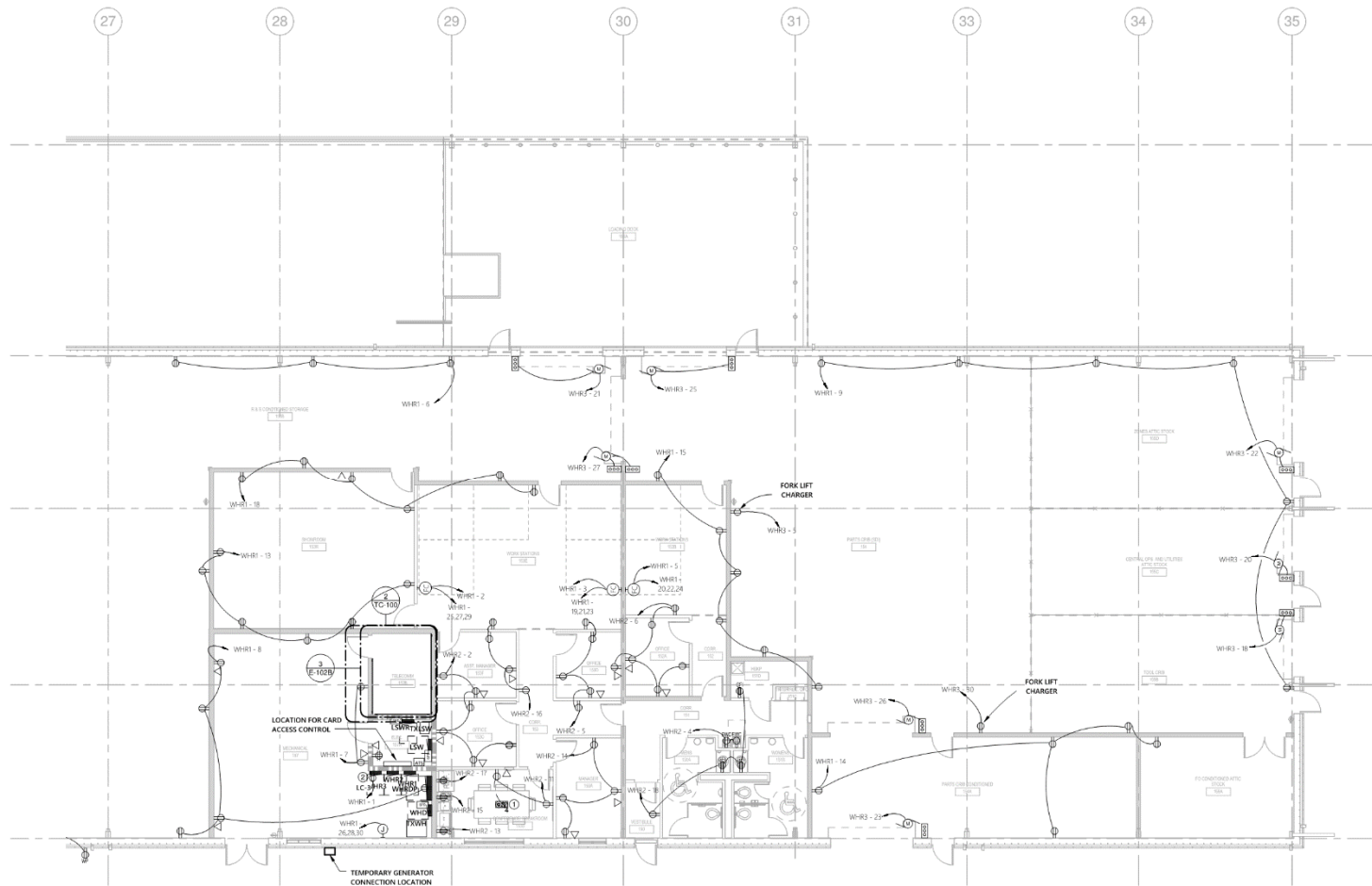


# Electrical – Warehouse



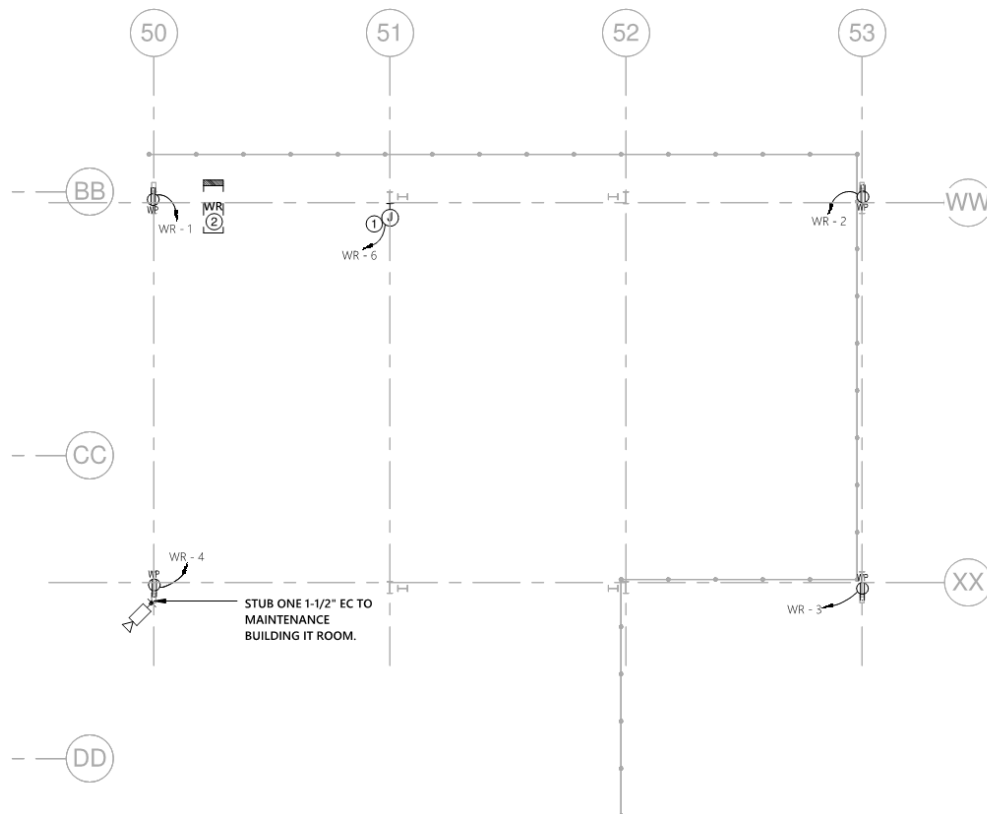
1 FLOOR PLAN - POWER - WAREHOUSE - WEST  
1/8" = 1'-0"

# Electrical – Warehouse



1 FLOOR PLAN - POWER - WAREHOUSE - EAST  
WF-1-0'

# Electrical – Washrack



**2** FLOOR PLAN - WAREHOUSE - WASH RACK  
1/8" = 1'-0"

# PROJECT ALTERNATES

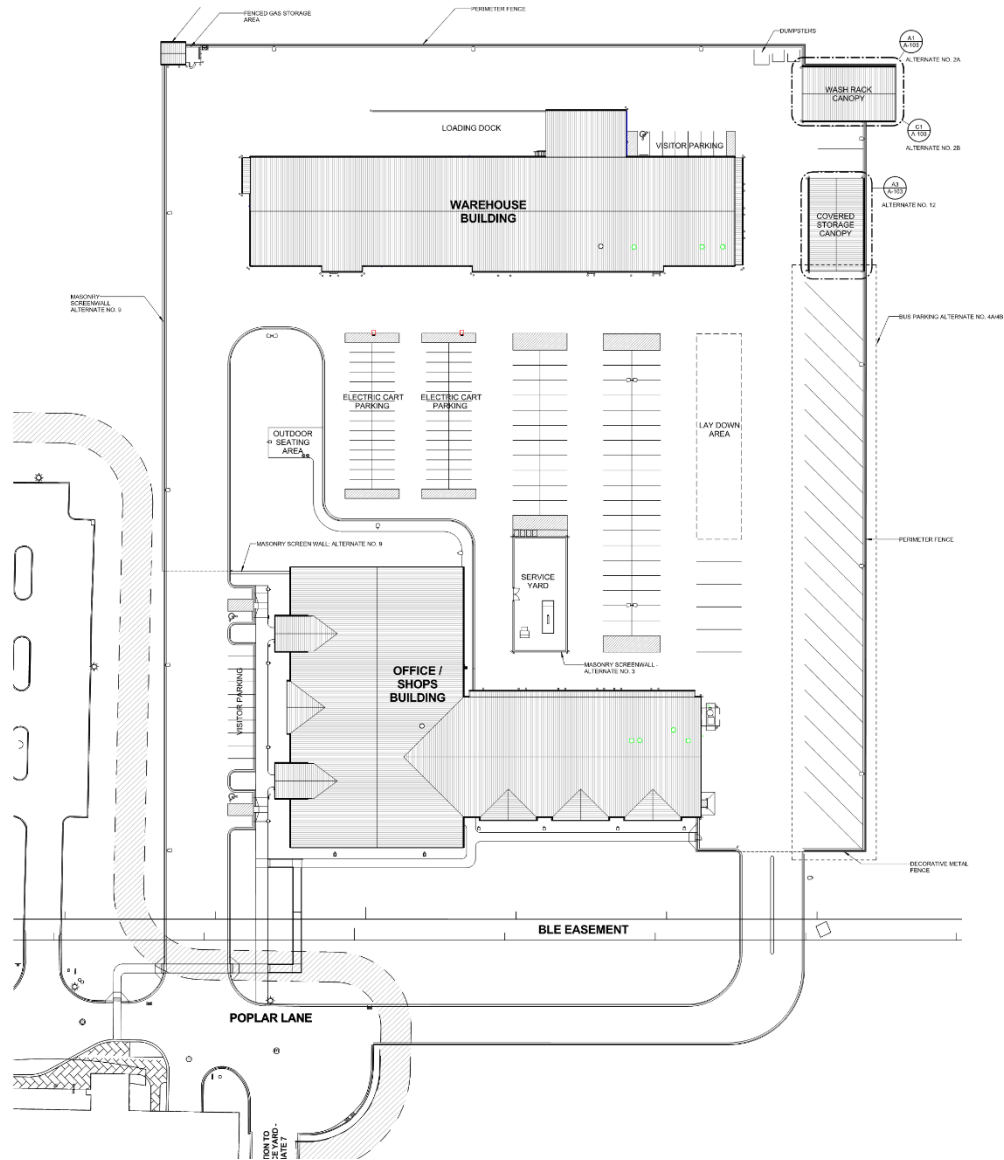
Alternate No. 1: Provide brick façade in lieu of metal siding on the south facade of Warehouse building as detailed on the Drawings and described in the Specifications.

Alternate No. 2A: Provide pre-engineered metal canopy for Wash Rack as detailed on the Drawings and described in the Specifications.

Alternate No. 2B: Provide decorative CMU masonry walls, on two sides, and roof for Wash Rack in lieu of pre-engineered metal canopy as detailed on the Drawings and described in the Specifications.

Alternate No. 3: Provide decorative CMU with ribbed interior finish masonry screenwall with precast cap in lieu of chain link fence around Service Yard as detailed on the Drawings and described in the Specifications.

# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE





# PROJECT ALTERNATES

Alternate No. 8: Extend telecomm infrastructure along Poplar Lane as detailed on the Drawings. Scope of work includes new concrete encased duct bank from existing manhole to new Telecommunications manhole.

Alternate No. 9: Provide decorative CMU masonry screenwall with precast cap in lieu of decorative metal fence along south edge of complex as detailed on the Drawings and described in the Specifications.

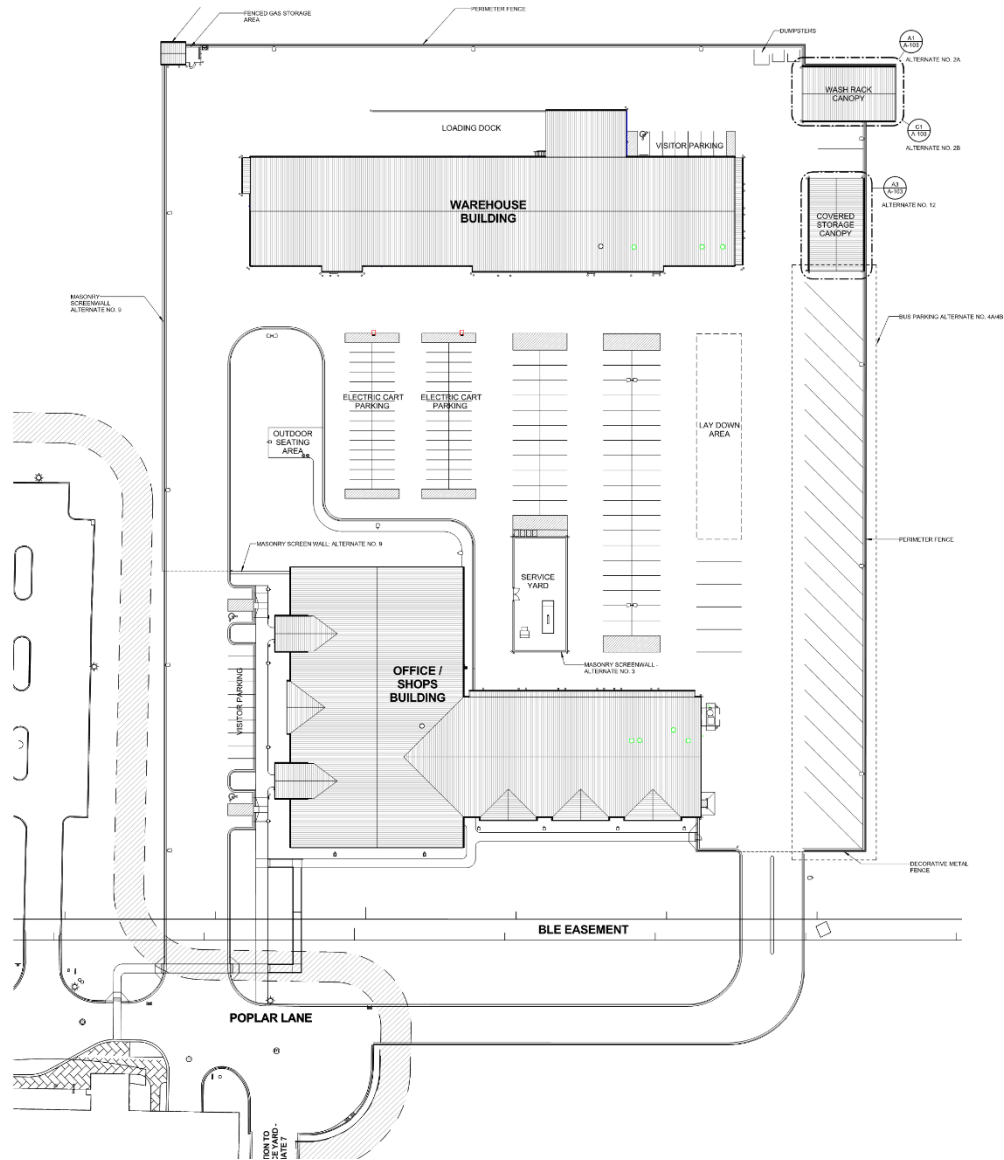
Alternate No. 10: Condition shops areas as indicated on the Drawings and described in the Specifications.

Alternate No. 11: Install event power as indicated on the Drawings and described in the Specifications.

Alternate No. 12: Provide pre-engineered metal canopy for Covered Storage as detailed on the Drawings and described in the Specifications.

Alternate No. 13: Provide lightning protection system as described in the specifications.

# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE



# OWNER PREFERRED ALTERNATES

Alternate No. P1: Provide Schlage Locksets, (no substitutions) as described in Specification Section 087100.

Alternate No. P2: Provide Simplex Fire Detection Systems, (no substitutions) as described in Specification Section 283111.

Alternate No. P3: Provide Open Option Systems, (no substitutions) as described in Specification Section 281300.

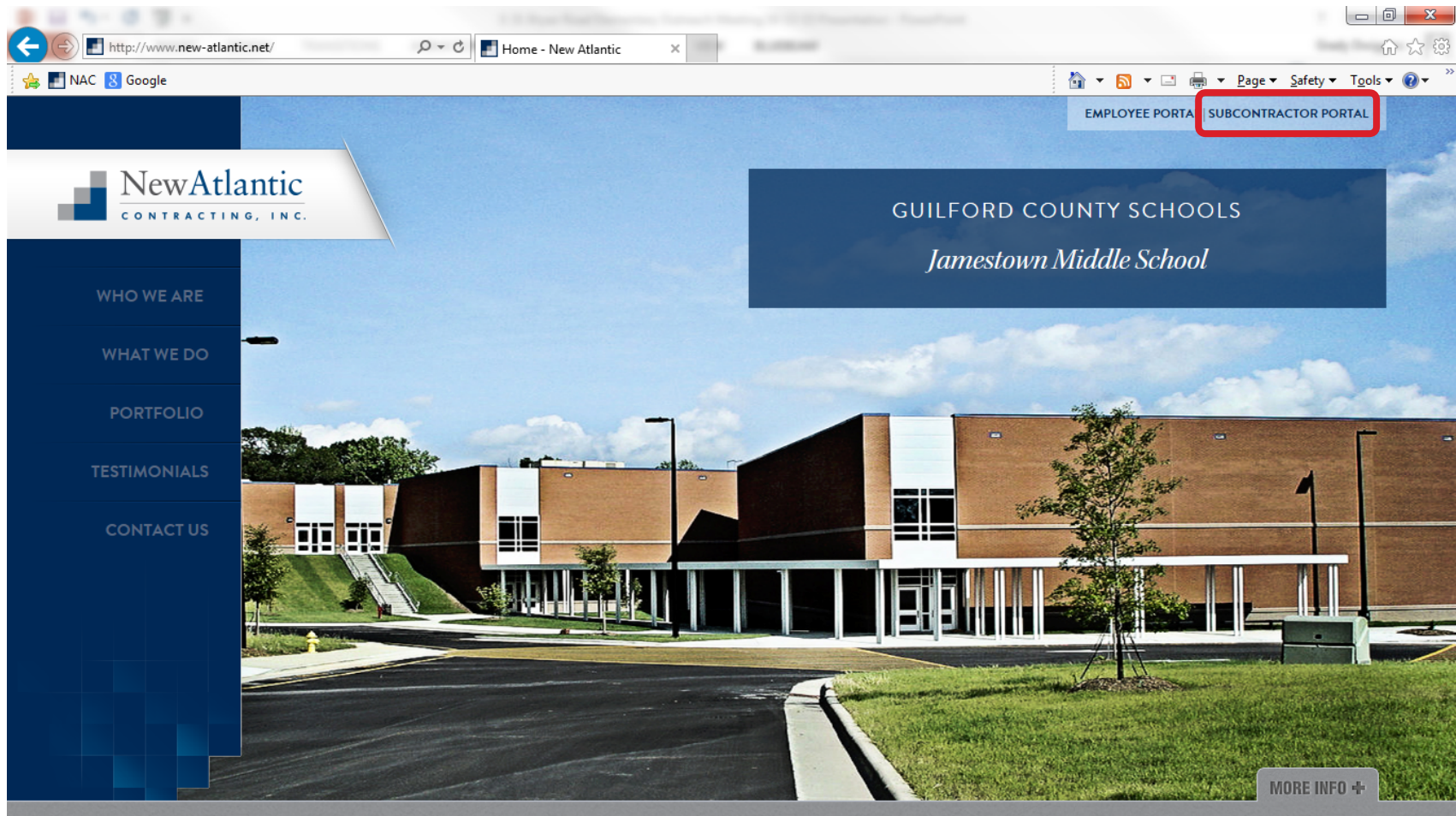
Alternate No. P4: Provide Hanson Brick, “Morrocroft Special” brick (no substitutions), as described in Specification Section 042000.

Alternate No. P5: Provide Pine Hall, English Edge Pavers, (no substitutions) as described in Specification Section 321400.

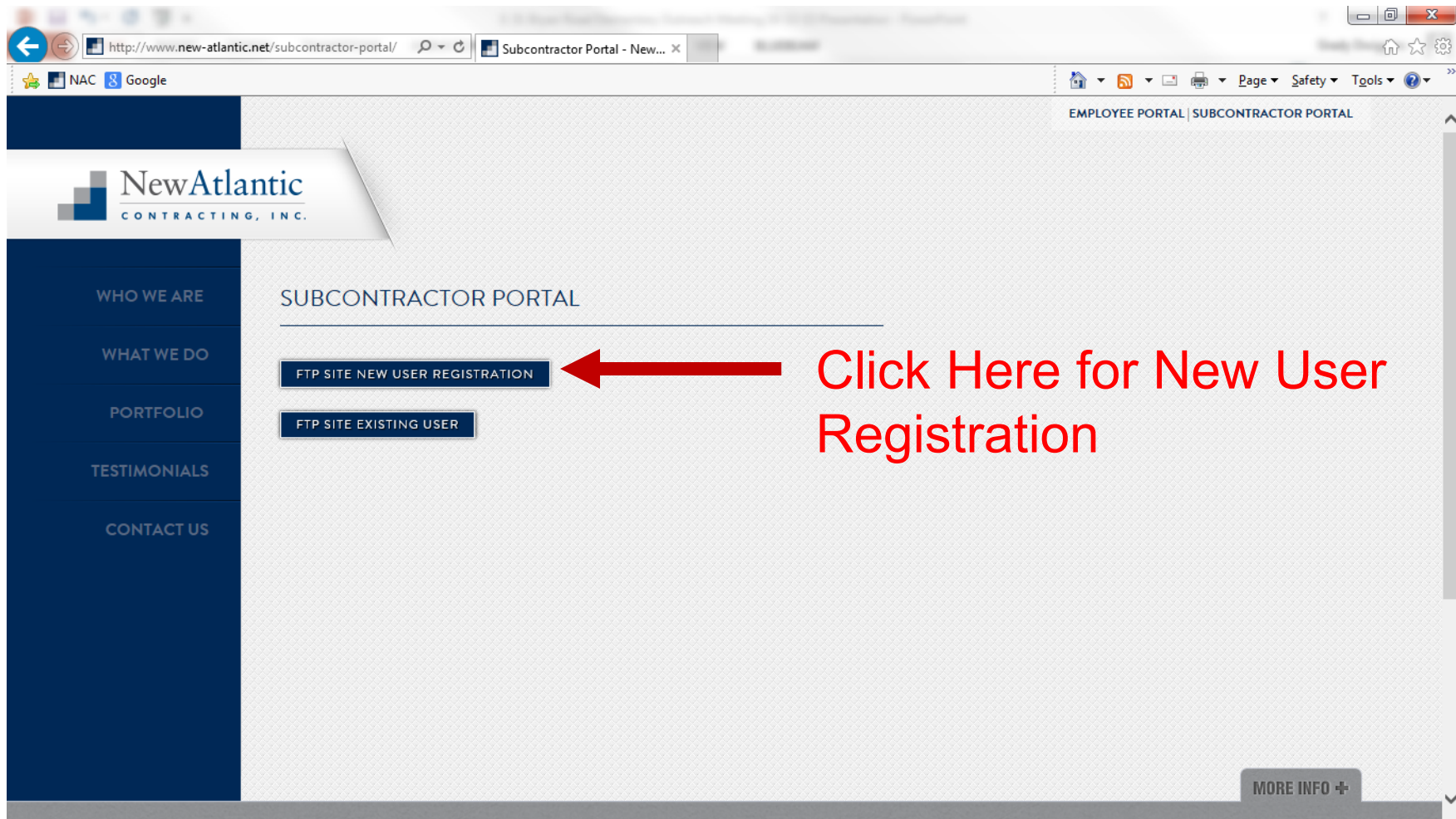
# CONSTRUCTION DOCUMENTS

- **Charlotte Area**
  - **Sharpe Images** (*Charlotte*)
- **Triad Area**
  - **Sharpe Images** (*Winston-Salem*)
  - **New Atlantic Contracting Office**
    - *Contact Grady Dwiggin to check availability*
- **[www.new-atlantic.net](http://www.new-atlantic.net)**

# www.new-atlantic.net



# www.new-atlantic.net



EMPLOYEE PORTAL | SUBCONTRACTOR PORTAL

**NewAtlantic**  
CONTRACTING, INC.

WHO WE ARE

WHAT WE DO

PORTFOLIO

TESTIMONIALS

CONTACT US

SUBCONTRACTOR PORTAL

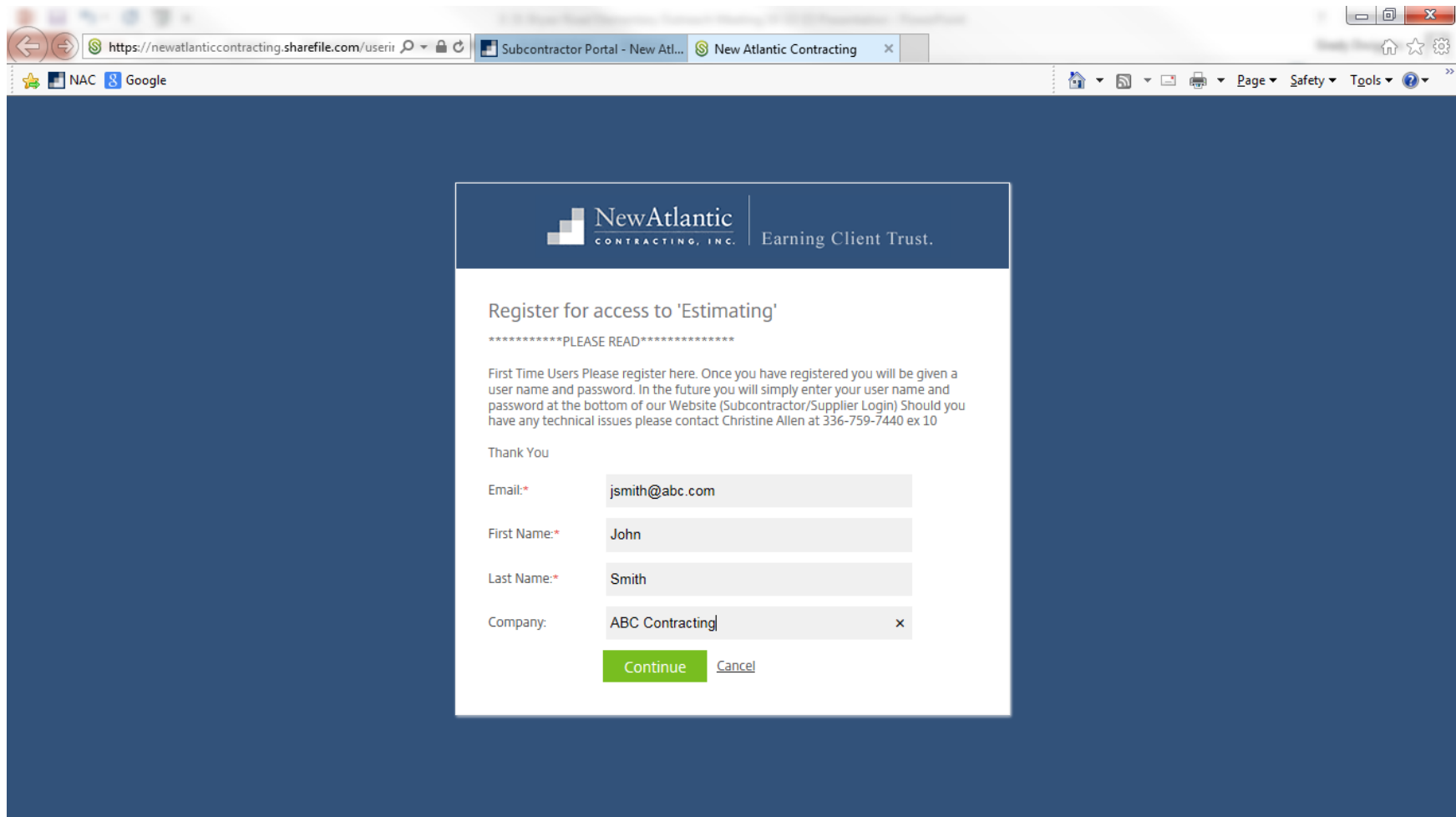
FTP SITE NEW USER REGISTRATION

FTP SITE EXISTING USER

Click Here for New User Registration

MORE INFO +


# www.new-atlantic.net



https://newatlanticcontracting.sharefile.com/useri... Subcontractor Portal - New Atl... New Atlantic Contracting

NAC Google

Page Safety Tools

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CONTRACTING, INC. | Earning Client Trust.

### Register for access to 'Estimating'

\*\*\*\*\*PLEASE READ\*\*\*\*\*

First Time Users Please register here. Once you have registered you will be given a user name and password. In the future you will simply enter your user name and password at the bottom of our Website (Subcontractor/Supplier Login) Should you have any technical issues please contact Christine Allen at 336-759-7440 ex 10

Thank You

Email:\*

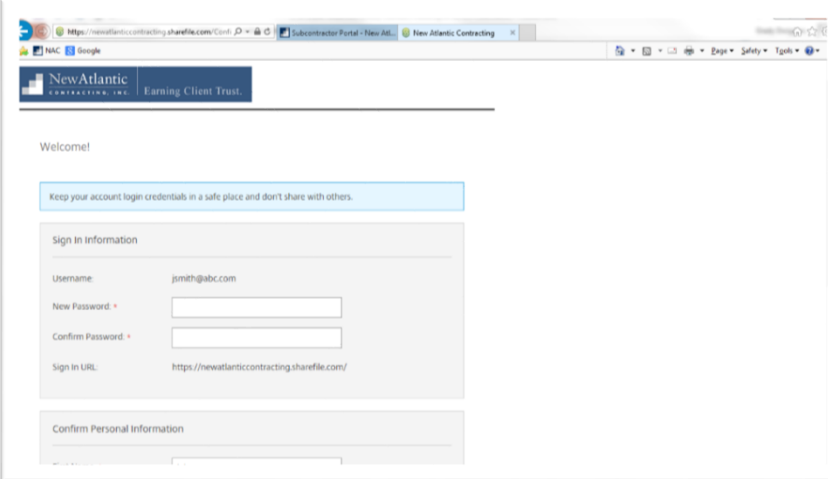
First Name:\*

Last Name:\*

Company:

[Cancel](#)

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https://newatlanticcontracting.sharefile.com/Conf... Subcontractor Portal - New Atl... New Atlantic Contracting

NewAtlantic  
Contracting, Inc. Earning Client Trust

Welcome!

Keep your account login credentials in a safe place and don't share with others.

Sign In Information

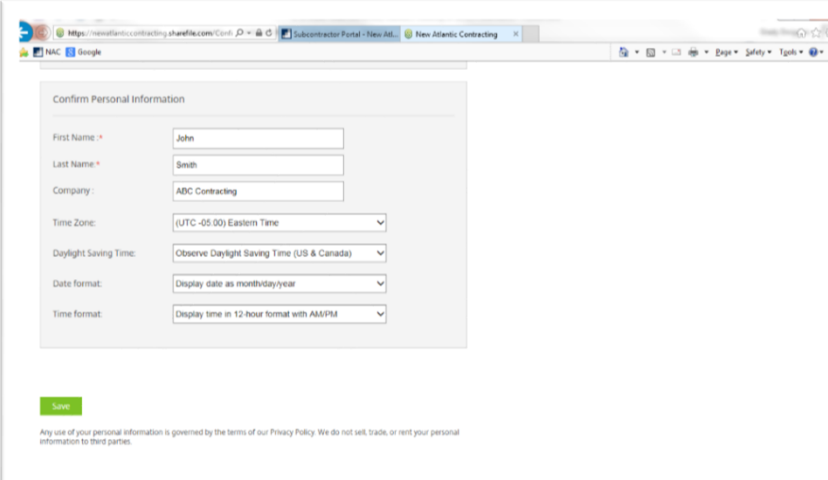
Username: jsmith@abc.com

New Password:

Confirm Password:

Sign In URL: https://newatlanticcontracting.sharefile.com/

Confirm Personal Information



https://newatlanticcontracting.sharefile.com/Conf... Subcontractor Portal - New Atl... New Atlantic Contracting

Confirm Personal Information

First Name:

Last Name:

Company:

Time Zone:

Daylight Saving Time:

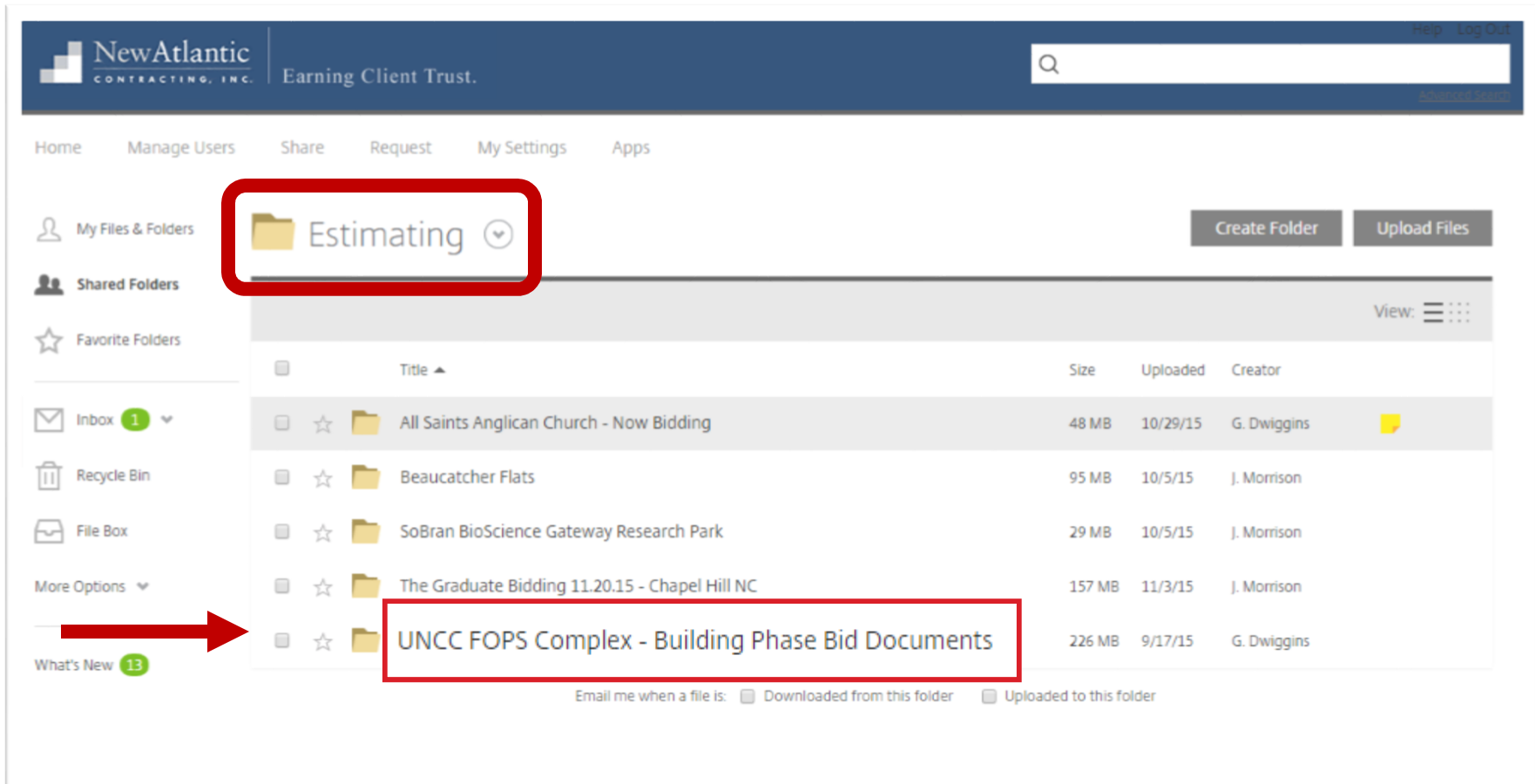
Date format:

Time format:

Any use of your personal information is governed by the terms of our Privacy Policy. We do not sell, trade, or rent your personal information to third parties.



# www.new-atlantic.net



The screenshot displays the NewAtlantic web portal interface. At the top, the logo for NewAtlantic Contracting, Inc. is visible, along with the tagline "Earning Client Trust." and a search bar. The navigation menu includes "Home", "Manage Users", "Share", "Request", "My Settings", and "Apps".

The main content area shows a file management view. On the left, there is a sidebar with "My Files & Folders", "Shared Folders", and "Favorite Folders". The "My Files & Folders" section is expanded, showing a folder named "Estimating" which is highlighted with a red box. Below this, there is a table of files and folders:

Title	Size	Uploaded	Creator
All Saints Anglican Church - Now Bidding	48 MB	10/29/15	G. Dwiggin
Beaucatcher Flats	95 MB	10/5/15	J. Morrison
SoBran BioScience Gateway Research Park	29 MB	10/5/15	J. Morrison
The Graduate Bidding 11.20.15 - Chapel Hill NC	157 MB	11/3/15	J. Morrison
UNCC FOPS Complex - Building Phase Bid Documents	226 MB	9/17/15	G. Dwiggin

The folder "UNCC FOPS Complex - Building Phase Bid Documents" is highlighted with a red box. A red arrow points from the "More Options" dropdown in the sidebar to the "UNCC FOPS Complex - Building Phase Bid Documents" folder. At the bottom, there is a checkbox for "Email me when a file is:" with options for "Downloaded from this folder" and "Uploaded to this folder".

## IMPORTANT DATES – PRECONSTRUCTION

- **Deadline for Questions & Substitution Requests**
  - Tuesday – September 5, 2017 @ 5:00pm
- **Last Addendum Issued**
  - Tuesday – September 12, 2017
- **BID OPENING**
  - Tuesday – September 19, 2017 @ 2:00pm

## IMPORTANT DATES – PRECONSTRUCTION

- **BID OPENING**
  - **Tuesday – September 19, 2017 @ 2:00pm**
- **Bids may be hand delivered to bid room at bid time**
  - Lucas Room (#341) in the Cone University Center Building
- **Bids may be hand delivered or mailed prior to the bid opening – provided they arrive no later than 1:00pm on day of bid opening**

Addressed to: Ms. Joyce Clay  
UNC Charlotte  
Facilities Management / Capital Projects  
9201 University City Blvd.  
Charlotte, NC 28223  
*Reference: Facilities Operations and Parking Services Complex*

## REDUCING BARRIERS

- **HUB Goals – 30%**
  - **Focus on Diverse Workforce**
  - **Good Faith Efforts**
- **Bid Packaging**
  - **Building Phase First-Tier Opportunities**
  - **Intentional in creating multiple 2<sup>nd</sup> & 3<sup>rd</sup> tier opportunities**
    - Labor, Material Supplier, Equipment Rental, Dumpsters, Drug Testing
- **Quick Pay Arrangements**
  - **Available to Contractors with Cash Flow Demands**
    - On less than monthly basis
- **Joint Check Arrangements**
  - **Resource allows subcontractors to work with material vendors without establishing credit**

# REDUCING BARRIERS

- **HUB Compliance**
  - Subcontractor / Supplier ID Form
  - Affidavit A / Affidavit B
  - Post Bid Documentation





# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid

## State of North Carolina AFFIDAVIT A - Listing of Good Faith Efforts

County of \_\_\_\_\_

(Name of Bidder)

Affidavit of \_\_\_\_\_

I have made a good faith effort to comply under the following areas checked:

**Bidders must earn at least 50 points from the good faith efforts listed for their bid to be considered responsive.** (1 NC Administrative Code 30 I.0101)

- 1 - (10 pts) Contacted minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 2 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 3 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 4 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 5 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 6 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 7 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 8 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 9 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.
- 10 - (5 pts) Provided written notice to minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor, or available on State or local government maintained lists, at least 10 days before the bid date and notified them of the nature and scope of the work to be performed.

The undersigned, \_\_\_\_\_, being duly sworn, deposes and says that the foregoing is true and correct to the best of his knowledge and belief, and that he is the authorized representative of the contractor named herein.

The undersigned hereby certifies that he has read the terms and conditions of the contract and is satisfied to execute the same for the reasons stated herein.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_  
Signature: \_\_\_\_\_  
Title: \_\_\_\_\_

State of \_\_\_\_\_, County of \_\_\_\_\_  
Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.  
Notary Public \_\_\_\_\_  
My commission expires: \_\_\_\_\_



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid Attach to Bid

## State of North Carolina --AFFIDAVIT B-- Intent to Perform Contract with Own Workforce.

County of \_\_\_\_\_

Affidavit of \_\_\_\_\_  
(Name of Bidder)

I hereby certify that it is our intent to perform 100% of the work required for the \_\_\_\_\_

\_\_\_\_\_ contract.  
(Name of Project)

In making this certification, the Bidder states that the Bidder does not customarily subcontract elements of this type project, and normally performs and has the capability to perform and will perform all elements of the work under this project with its own permanent workforce, and

The Bidder agrees to provide any additional information or documentation requested by the owner to support the above statement. The Bidder agrees to make a good faith effort to make every effort to support where possible.

The undersigned hereby certifies that he or she has read this certification and has affixed his or her signature to the Bidder to the commitment herein contained.

Date: \_\_\_\_\_ Name of Authorized Officer: \_\_\_\_\_

Signature: \_\_\_\_\_

Title: \_\_\_\_\_



State of \_\_\_\_\_, County of \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

My Commission Expires \_\_\_\_\_

My Commission Expires \_\_\_\_\_



## BONDING

- **Bid Bonds**
  - Not required for bids under \$500,000
- **Performance & Payment Bonds (P&P)**
  - Required for all “Building Envelope” packages
    - 04A, 07B, 08C, 13A
  - Not required for bids under \$500,000 (*except for the packages listed above*)
  - Bid P&P bonds as add alternate



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

## FORM OF PROPOSAL

*University of North Carolina at Charlotte  
Facilities Operations and Parking Services Complex  
Early Site / Structural Phase*

Bidding Contractor: \_\_\_\_\_

NC License #: \_\_\_\_\_

Date: \_\_\_\_\_

### COMPLIANCE STATEMENT

I hereby acknowledge that I have read and accept the complete Bidders Manual dated June 18, 2017. I acknowledge these documents in their entirety and agree that, if awarded a subcontract, these documents will be signed and executed as-is with no modifications. The undersigned bidder proposes to furnish all labor, materials, equipment, engineering, permits, fees, taxes, insurance, scaffolding, hoisting, clean-up, safety measures, and supervision and perform all work necessary for the construction of this Trade Package, in accordance with Drawings and Specifications dated 6/15/17 (as itemized in the Bidders Manual), and the addenda noted below for consideration of the following amount:

ADDENDA	Number: _____	Dated: _____
	Number: _____	Dated: _____
	Number: _____	Dated: _____

**BASE BID for Bid Package # \_\_\_\_\_**

*Show amount both in words and figures.*

\_\_\_\_\_ Dollars.  
\$ \_\_\_\_\_ . 00

**ALTERNATE – PAYMENT & PERFORMANCE BOND (if accepted will be an add to base bid)**

*Show amount both in words and figures.*

\_\_\_\_\_ Dollars.  
\$ \_\_\_\_\_ . 00



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

**ALTERNATES:**

Should any of the alternates as described in the contract documents be accepted, the amount written below shall be the amount to be "added to" or "deducted from" the base bid. (Strike out "Add" or "Deduct" as appropriate.)

Show amount both in words and figures.

**Alternate No. 1: Provide foundations for brick façade in lieu of metal siding on the south facade of Warehouse building as detailed on the Drawings and described in the Specifications.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 2A: Provide foundations for Wash Rack pre-engineered metal canopy as detailed on the Drawings and described in the Specifications.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 2B: Provide foundations, for masonry walls, and roof structure for Wash Rack in lieu of pre-engineered metal canopy as detailed on the Drawings and described in the Specifications.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 3: Provide foundations for masonry screenwall in lieu of chain link fence around Service Yard as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 4A: Provide Gravel Bus Parking as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 4B: Provide Concrete Bus Parking in lieu of gravel as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 5: Provide Sanitary Dump Station as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 6: Provide Concrete Paving in lieu of Asphalt as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 7: Provide Connection to Facilities Maintenance Yard as detailed on the Drawings.**

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

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**Alternate No. 8:** *Extend telecomm infrastructure along Poplar Lane as detailed on the Drawings. Scope of work includes new concrete encased duct bank from existing manhole to new Telecommunications manhole.*

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 9:** *Provide foundations for masonry screenwall in lieu of decorative metal fence along south edge of complex as detailed on the Drawings.*

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_

**Alternate No. 12:** *Provide foundations for Covered Storage pre-engineered metal canopy as detailed on the Drawings and described in the Specifications.*

(Add) *(Deduct)* \_\_\_\_\_ Dollars (\$) \_\_\_\_\_



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

## UNIT PRICES / QUANTITY ALLOWANCES

Unit prices quoted and accepted shall apply throughout the life of the contract, except as otherwise specifically noted. Unit prices shall be applied, as appropriate, to compute the total value of changes in the base bid quantity of the work all in accordance with the contract documents. Reference Specification Section 012200 - UNIT PRICES for more details.

**UP-1: Excavation of Unforeseen Unsuitable Materials, Off-Site Disposal, and Replacement with Off-Site Suitable Fill.** Provide removal of unsuitable soils in accordance with Section 310000 and replacement of qualified unsuitable material volume with equal volume of off-site suitable structural fill, which will include purchase, transportation, placement and compaction.

QUANTITY ALLOWANCE 1: Bid Package 2A Base bid proposal to include **500 CY**, to be used at the discretion of the CMAR.

(\$/CY) Unit Price 1 = \$ \_\_\_\_\_

**UP-2: Trench Rock Excavation, Off-Site Disposal, and Replacement with Off-Site Suitable Fill.**

Include the removal of trench rock including all necessary equipment, material and labor for trench rock excavation and removal off-site. Provide the replacement of trench rock with compacted off-site suitable fill in accordance with Section 312316.26. See Bidder's Manual and Bid Form for quantities to be carried in individual trade package base bids

QUANTIFY ALLOWANCE 2: Bid Package 2A Base bid proposal to include **800 CY**, to be used at the discretion of the CMAR.

(\$/CY) Unit Price 2 = \$ \_\_\_\_\_

**UP-3: Blast Rock Excavation, Off-Site Disposal, and Replacement with Off-Site Suitable Fill.**

Include the removal of blast rock including all necessary equipment, material and labor for blast rock excavation and removal off-Site. Provide the replacement of rock with off-site suitable compacted fill in accordance with Section 312316.26.

QUANTITY ALLOWANCE 3: Bid Package 2A Base bid proposal to include **1000 CY**, to be used at the discretion of the CMAR.

(\$/CY) Unit Price 3 = \$ \_\_\_\_\_

**UP-4: Excavation of Unforeseen Unsuitable Soil Materials and Disposal On-Site.** Excavation of unsuitable material and disposal on-site. Include removal of unsuitable material quantified by geotechnical engineer and placed on-site in approved location per direction of Owner.

QUANTITY ALLOWANCE 4: Bid Package 2A Base bid proposal to include **500 CY**, to be used at the discretion of the CMAR.

(\$/CY) Unit Price 4 = \$ \_\_\_\_\_



## FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

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**UP-5: Cast-in-Place Concrete for Column Footings (Not Reinforced).** Cast-in place concrete for column footings. Include placement and finishing of concrete in accordance with applicable project specification sections.

(\$/CY) Unit Price 5 = \$ \_\_\_\_\_

**UP-6: Cast-in-Place Concrete for Column Footings (Not Reinforced).** Cast-in place concrete for column footings. Include placement and finishing of concrete in accordance with applicable project specification sections.

(\$/CY) Unit Price 5 = \$ \_\_\_\_\_

**UP-7: Cast-in-Place Concrete for Column Footings (Not Reinforced).** Cast-in place concrete for column footings. Include placement and finishing of concrete in accordance with applicable project specification sections.

(\$/CY) Unit Price 5 = \$ \_\_\_\_\_



# FACILITIES OPERATIONS AND PARKING SERVICES COMPLEX BUILDING PHASE

Proposal Signature Page

The undersigned further agrees that in the case of failure on his part to execute the said contract and the bonds within ten (10) consecutive calendar days after being given written notice of the award of contract, the certified check, cash or bid bond accompanying this bid shall be paid into the funds of the owner's account set aside for the project, as liquidated damages for such failure; otherwise the certified check, cash or bid bond accompanying this proposal shall be returned to the undersigned.

Respectfully submitted this day of \_\_\_\_\_

\_\_\_\_\_

(Name of firm or corporation making bid)

WITNESS:

\_\_\_\_\_  
(Proprietorship or Partnership)

By: \_\_\_\_\_  
Signature

Name: \_\_\_\_\_  
Print or type

Title \_\_\_\_\_  
(Owner/Partner/Pres./V.Pres)

Address \_\_\_\_\_

ATTEST:

By: \_\_\_\_\_

Title: \_\_\_\_\_  
(Corp. Sec. or Asst. Sec. only)

License No. \_\_\_\_\_

Federal I.D. No. \_\_\_\_\_

Email Address: \_\_\_\_\_

(CORPORATE SEAL)

## PROJECT MILESTONES *(start dates)*

- **Bid date:** September 19, 2017
- **Roofing:** January 3, 2018
- **MEPF OH Rough-in:** January 12, 2018
- **Masonry:** January 24, 2018
- **Framing:** February 2, 2018
- **Storefront/Glass:** February 7, 2018
- **Main Mechanical Room / Electrical:** February 21, 2018
- **Pre-Engineered Building:** March 6, 2018
- **Permanent Power:** March 13, 2018
- **Drywall:** March 16, 2018
- **Ceilings & Casework:** June 1, 2018
- **Flooring:** June 18, 2018
- **T&B:** June 22, 2018
- **Doors/Hardware & Paint:** June 25, 2018
- **SCO Final Inspections:** August 27, 2018



# Questions?

Site Visit Available

**UNC Charlotte - Poplar Lane  
North of Lot 25**

# DIRECTIONS

- ↑ Head northwest on Mary Alexander Rd toward McEniry Ln  
0.3 mi
- ↶ Turn left onto Cameron Blvd  
0.2 mi
- ↷ Turn right onto Poplar Ln  
**i** Destination will be on the left

9628 Poplar Lane  
Charlotte, NC  
28223

