### ADDENDUM No. 3

Date: September 1, 2021

To: All Bidders

From: **Jenkins•Peer** *Architects* 

Charlotte, N.C.

Re: UNC Charlotte – Residence Hall Phase XVI

SCO ID: 18-18333-02E JPA Project #: 18NCC016

### **NOTICE to BIDDERS:**

Bidder is hereby notified that this Addendum shall hereby become a part of the Construction Documents and the official Contract Documents, and shall be attached to the Project Manual for the Project.

The following items are intended to revise and clarify the Drawings and the Project Manual.

The bidder shall see that their Sub-Bidders are in full receipt of the information contained herein.

### **General Note:**

This Addendum includes the following groups and subsequent "items" referring to various parts of the Contract Documents. Note that some "items" may refer to Bulletin Drawings or new Specification Sections which are attached at the back of the Addendum.

### **GENERAL INFORMATION**

- 1) Mandatory Pre-bid Meeting Sign-in Sheet
- 2) Pre-bid Meeting Power Point Presentation
  - a. Additional Notes from Pre-bid Meeting:
    - i. September 16 was emphasized as the final date that addenda will be issued. Jenkins Peer indicated that they will make every effort to respond to RFI questions received after September 13 and before September 16.
    - ii. It was emphasized that Sanford Hall Lane must be kept open at all times for fire lane access and for UNC Charlotte and HRL operations.
    - iii. It was emphasized that the main campus entrance may not be used for construction purpose of any kind.
    - iv. Dorothy Vick indicated that because this is a single prime hard bid project, only first tier subs can be counted toward minority participation goals.
    - v. Dorothy Vick indicated that 20% minority participation is an aspirational goal.
    - vi. Dorothy Vick indicated that Monday, September 13 is the final day to notify potential MBE participants.
    - vii. Dorothy Vick emphasized that the Minority Identification Form and Affidavit A <u>MUST</u> be submitted with bids.
    - viii. Dorothy Vick emphasized that UNC Charlotte does not count for item 4 on Affidavit A.
    - ix. Dorothy Vick emphasized that quick pay should take no more than 18 days.

- 112 South Tryon Street Charlotte, N.C. 28284 704/372-6665
- x. Dorothy Vick indicated that she will send a list of names of MWBE firms who have worked on campus to all GC's who signed in for the pre-bid meeting.
- xi. Construction hours were discussed. During school, no noise-making activities can occur prior to 8 A.M. When school is not in session, work hours become more flexible. UNC Charlotte reserves the right to identify days and dates when no work is to occur.
- 3) The following are the current planholders who have downloaded drawings and specifications via Jenkins Peer Architects Sharefile site and/or attended the mandatory pre-bid meeting:

Robert Tirocchi Harkins Builders rtirocchi@harkinsbuilders.com vern.albright@bartonmalow.com Vern Albright **Barton Malow** lchimiak@clevelandconstruction.com Lori Chimiak Cleveland jmc-gc@johnmcampbellcompany.com Miles Campbell John M Campbell Co. Justin Luitjohan Poettker Construction jluitjohan@poettkerconstruction.com imorgan@new-atlantic.net Jay Morgan New Atlantic Rachel Collins I.L. Long Construction rcollins@illong.com Edison Foard mhill@edisonfoard.com Mike Hill jeffratcliff@beckgroup.com Jeff Ratcliff Beck Group Debbie Eaker Path Construction deaker@pathcc.com Payton Stull Patson-Cook pstull@batson-cook.com cherish.smith@rac.com Cherish Smith Roy Anderson Corp. Elford, Inc. imabe@elford.com Jennifer Mabe JM Cope Construction kconrad@jmcope.com Kevin Conrad Alex Danyal Msquare Const., Inc estimating@msquareus.com aanderson@bstonegroup.com Asia Anderson Brownstone Mike Bedell Walbridge mbedell@walbridge.com **Barnhill Contracting** vstephenson@barnhillcontracting.com Victor Stephenson

### Disclaimers:

- 1) The planholder list above is indicative of those GC's who attended the pre-bid meeting. Other GC's on previous planholder lists that do not appear on this list are no longer eligible to submit a bid.
- 2) This list is published for information only. Jenkins Peer makes no claim nor guarantee that the listed GC's will be submitting a bid for this project. It is the responsibility of any contractor, sub-contractor, and supplier to confirm the information provided here for the purpose of submitting their own bid or pricing to qualified bidders.
- 3) The individual contact listed for each company is based on the information input by the listed companies to gain access to download the documents or who signed in at the pre-bid meeting. Jenkins Peer Architects makes no guarantee that the listed individual is the contact for any of the companies.

### PROJECT MANUAL & TECHINCAL SPECIFICATIONS DIVISIONS – NOT USED

### **DRAWING SHEETS:**

1. Revised sheet A-406: Clarification of notes on shower materials

### RESPONSES TO EMAIL QUESTIONS (NOTE: QUESTIONS AND RESPONSES ARE INCLUDED HERE ONLY IF THEY ARE NOT RESPONDED TO ELSEWHERE IN THIS ADDENDUM): NOT USED

### **End of ADDENDUM No. 3**

### Attachments:

- Pre-bid Meeting Sign-in Sheet
- Pre-bid PowerPoint presentation
- Revised sheet A-406

### Jenkins•Peer Architects Pre-bid Meeting Sign-in

Project: UNC Residence Hall Phase XV SCO ID# 18-18333-02E

JPA #: 18NCC016 8/31/2021

	Name	Company	Email	Address	Phone
MATT J	IONNSON	PATH CONSTRUCTION	MJOHNSON @ PATHCE. COM	125 E ALGENAULI RD, ARL. HTS. IL GOODS	850-232-0958
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	ruper	GATES CONSTructIOF	- Chir. brs ver contesconston com	RO. BOX 150 Moones ville	704-361-3462
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Kon	WAYMAN	£150s	CONSTRUCTION, LOW	CIMPLETTE 28217	704 428 06
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VOHO	NBCAS	UNCCITS	blasouvec. ele		704-687-02
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-	enkel -	UMA OCOTECHNICAL	Thenkel@ term-vana. com	colfing NC.	336-707-566
	Townsand	Carrier	andrew. Townsend @ Carrie . com	5700 Northwoods Pkny , (harlott, NC	708-680-7854
	Dimmantic	Botson Cook	malamants a boxon-ce		704-309-32
	STICKMEY	ELPOLD	batickney@elford.com	10180 Permete Phany	44-230-482
- 1	SMITU	TEH (FOR SDL)	smith. Jeffe tand h, com		704.907.271
1	Anderson	BROWNSTONE	aandersona b. tonegroy		704-565314
	rompton	New Atlantic	icrompton one - atlantic, net		336-759-7440
	Zavanivi	New Atlantic	CZananivi o new-atlazie	Ter 2635 REYNOLDA ROAD	336-759-74
Harne	Lhee	Yes Real Estate Const Group	dec@yesreg.com	(Electrical-MRE)	70+.277.3948
Doug	1	Faulcie Construction	I fuse a faut coner construction as	b	7046503860
dec	hard Ash	Lor Andersonce	cp. leonard.ash esac.c.	m 11400 leichold Ad. bulf por	228-297-410
			<u> </u>	e.s.	

### nkins•Peer Architects

Pre-bid Meeting Sign-in

Project: UNC Residence Hall Phase XV SCO ID# 18-18333-02E

JPA #: 18NCC016 8/31/2021

8/31/2021				
Name	Company	Email	Address	Phone
Victor Stopherson	BASINAIl Contendia	Vstepherson & brownillow trady	car 2745 PERSON VALLE Rd RAL	919-369-0434
Dason Mit chell	J.L. Long	instuhelleillogs, com	4117 Indiana Are WSNE 27105	336/661-1887
deanard Ash	Lot Anderson cas	Lawred tshelacion	1400 leichald Ad butsport w	238 29714
BILLIE GENHAM	BECK	BILLIE GRAHAM @ BECKGRAP. COM	+777 SHARIN RO, SUITE 500, CHARLETTE	214.497.3710
John Neilso	DIXC Chai	1011		
71 leghan Beach	Cleveland Const.	estimating @ clevelando	anstruction.com	704-909-87
Vein Albright	Barton Malow	Vern Albeitt C Barton malor de	m 2322 Dunmant St Steloo CLTM	980-429-054
Tyler Schmahl	Borton Malow	Tyler. Schman C Beston malow.co		
Holor Hassler	Borton Malon	Haley, Hasder C Buten Malancin		
JUM RETTBERG	OPTIMA ENLINEATH		um 1927 S. Thy ON ST CHUT 28273	704 3331362
Mile Bracil	Wallander	whedelles wallonde can	2701 S-BUID CL+	9199017129
Kevin Conrad	SM cope	Kconrod @ incope, com	1069 Baysham Dive Rock Hill &	
DAVID HASAN	MS Quare Construction	n David Om saugreus, com	101 Great in Raeford NC 29732	9107777772
Marcy Nichol	Waste Pro	MNICHOTA, Wasterrousa.com	1902 Valley PKWY Morro Etb	704-608-416
Julio & Banigo	Agua Source la	Julio 60 agresso, exelle a		60 204848
V Rick Kiyer	Batson-Cook	Ockidere patron-cook.com	South Aud - Chanotte	980-290-1641
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# UNC CHARLOTTE Residence Hall Phase XVI

PRE-BID MEETING

August 31, 2021

Cone Center Room 210

2:00 P.M.

SCO ID# 18-18333-02E



( 1 ) INTRODUCTION OF TEAM

2 DESCRIPTION OF THE PROJECT

3 PARKING & CONTRACTOR OFFICES

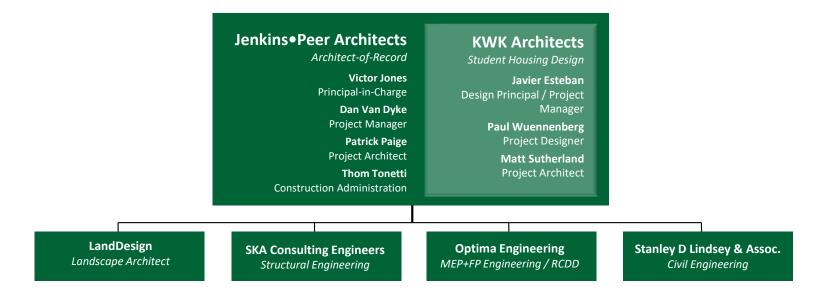
4 REVIEW OF BIDDING REQUIREMENTS

5 ALLOWANCES & UNIT PRICES

( 6 ) TIME OF COMPLETION & LIQUIDATED DAMAGES

PROPER SUBMISSION OF BIDDER QUESTIONS **EXISTING CONDITIONS & TEMP. PEDESTRIAN ROUTE OWNER PREFERRED ALTERNATES HUB PARTICIPATION OWNER COMMENTS BIDDER QUESTIONS** TOUR OF THE SITE





# Description of the Project

• The project consists of a new Residence Hall of 6 floors and approximately 147,000 sq. ft. and approximately 680 beds. The building will include student sleeping units in traditional double configuration along with three apartments, housing offices, study and recreational lounges, public kitchen, laundry and bathrooms. The building will also include classroom space and utility and accessory spaces for Housing and Residence Life operations. The project will be designed and constructed utilizing the Green Globes Rating/Certification Assessment program developed and administered by Green Building Initiative.

# Work Completed in 2019

- Site Demolition
- Moore Hall and its foundations have been removed in their entirety
- Existing water line service from Sanford Lane has been removed from the site and capped at the back of curb
- Existing sanitary sewer lines have been removed from the site
- Existing storm drainage system serving Moore Hall has been removed
- Existing gas service has been relocated from the proposed footprint
- Existing electrical and telecom duct banks and manholes have been removed
- Existing brick paver sidewalks have been removed
- Existing vegetation has been removed, with the exception of 1-2 small trees at the corner of Sanford Hall
- New Construction
- Sidewalk and retaining wall along north side of Sanford Lane have been installed. Some existing curb remains to be removed with repaying of Sanford Lane
- Storm Drainage system has been installed from Existing Curb Inlet at Sanford Lane through Manhole 17, Manhole 15, Catch Basin 13A, Catch Basin 12, Catch Basin 10, Catch Basin 9 and Existing Manhole A. Note: Section of 15" pipe between Catch Basin 9 and Catch Basin 10 has to be removed and relayed at the correct elevation



## Description of the Project

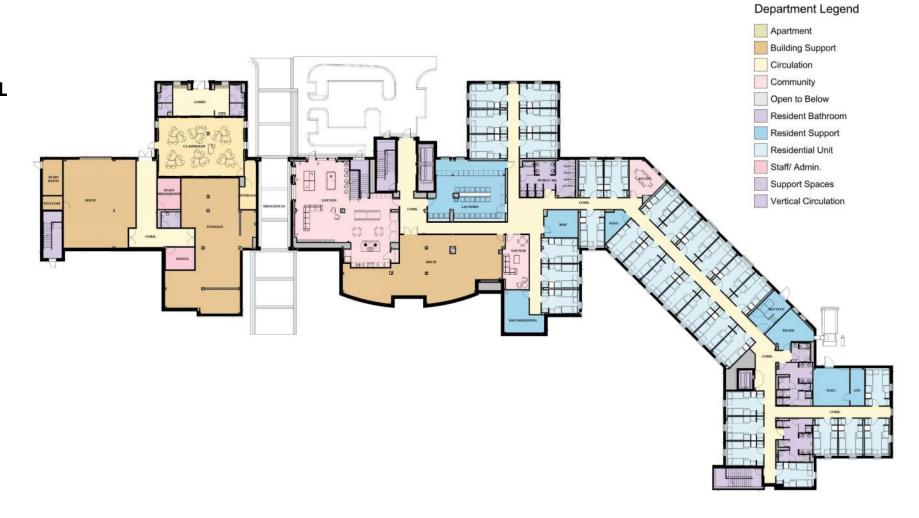






### **LOWER LEVEL**

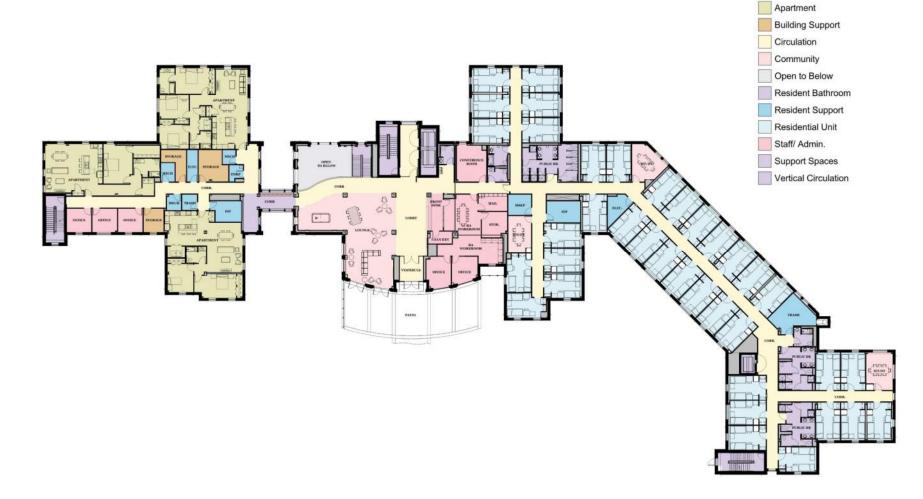






### **FIRST LEVEL**



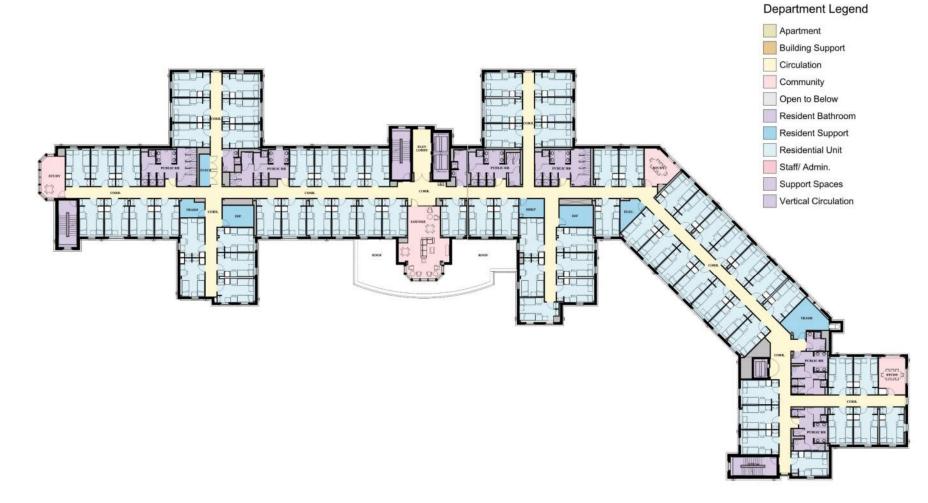


Department Legend



### **LEVELS 2-5**









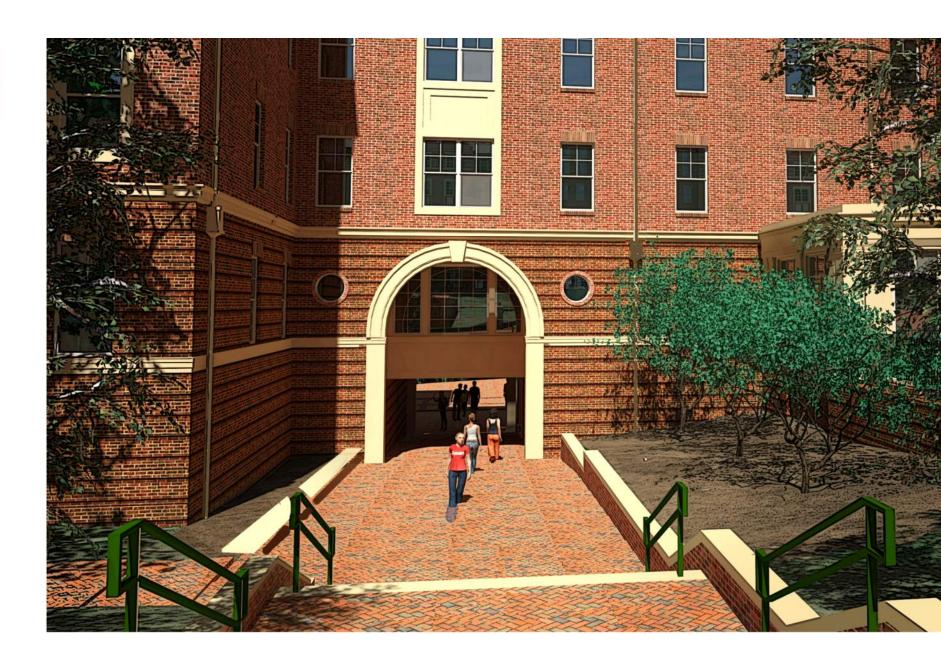






















































• Within the site or Lot 6 (based on time of year), or at the Starlight Cinema; permit required at all locations





PRE-BID MEETING

UNC CHARLOTTE RESIDENCE HALL PHXVI



### Review of Bidding Requirements

- Single Prime Bids only (GS 87-1).
- Opening Date: September 23, 2021 at 2:00 PM, Cone Center Room 208
- 5% Bid Bond
- 90 day bid hold
- Bid security, Form of Proposal and MBE documents (Identification of HUB) Certified/Minority Business Participation form and either Affidavit A or B) must be submitted with Bid. All Contractors are cautioned to keep full records on Minority Participation efforts.

# Allowances & Unit Prices

- Allowances (Section 01 21 00) are part of total base bid number.
- Unit prices (Section 01 22 00) are used to establish the cost of additional work beyond the allowance quantity listed and must be filled out on the Form of Proposal.
- All unused portions of allowance values will be returned to the Owner via deductive change order at the end of the project.



### Time of Completion & Liquated Damages

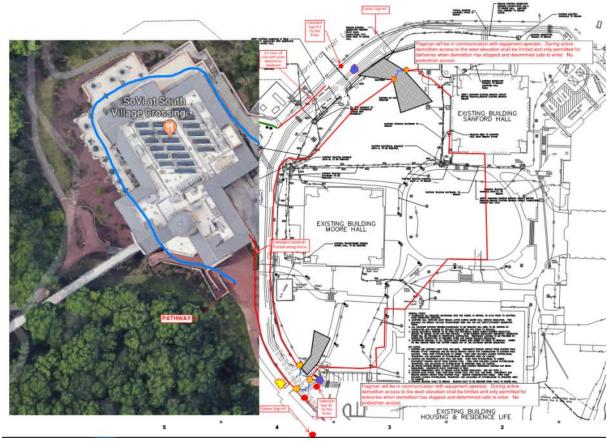
- Completion of project on schedule is critical for UNC Charlotte
- Schedule:
  - Notice of Intent: TBD
  - Estimated Notice to Proceed: November 15, 2021
  - Final Completion: June 30, 2023
- Liquidated damages: \$5,000 per calendar day.

# Proper submission of Bidder Questions

- Questions will be accepted via e-mail only and only from General Contractors
- All questions must be received 10 calendar days (Sept 13<sup>th</sup>) prior to Bid opening. <u>No exceptions.</u>
- Reference the Instructions to Bidders for RFI requirements.
- For e-mail, use ttonetti@jenkinspeer.com.
- RFI's MUST come through one of the General Contractors.
- Final addendum will be issued no later than 7 days (Sept 16<sup>th</sup>) prior to bid opening



# Existing Conditions & Temporary Pedestrian Route









- Goal for this project is 20%
- Affidavit A Listing of Good Faith Efforts
  - 1. Contacting minority businesses at least 10 days before the bid and notifying them of the nature and scope of the work to be performed.
    - ➤ September 8<sup>th</sup> last day to request assistance from University HUB Coordinator for names of potential minority subcontractors
    - ➤ September 13th last day to notify minority contractors
    - ➤ Maintain a telephone log of minority firms contacted
  - 2. Making construction plans available for review by prospective minority businesses
  - 3. Breaking down or combining elements of work to facilitate minority participation



- Affidavit A Good Faith Efforts (continued)
  - 4. Working with minority trade, community or contractor organizations in recruitment of minority businesses
    - ➤ University HUB Coordinator is not a minority trade organization
  - 5. Attending Pre-bid meetings scheduled by the Owner
  - 6. Providing assistance in getting required bonding or insurance or providing alternatives to bonding or insurance for subcontractors
     ➤ Suppliers typically aren't required bonding
  - 7. Negotiating in good faith with interested minority businesses and not rejecting them as unqualified without sound reasons based on their capabilities

# HUB/MWBE Participation

- Affidavit A Good Faith Efforts (continued)
  - 8. Providing assistance to an otherwise qualified minority business in need of equipment, loan capital, lines of credit or joint pay agreements that are ordinarily required or assisting minority businesses in obtaining the same unit pricing with the bidder's supplier
  - Negotiating joint venture and partnership arrangements with minority businesses in order to increase opportunities for minority business participation on a public construction project
  - 10. Providing Quick pay agreements and policies to enable minority businesses and suppliers to meet cash flow demands
    - ➤ Quick pay should be less than 30 days every 2 weeks is preferred



UNC Charlotte
Residence Hall Phase 16
"Good Faith Effort" Requirements

This information is provided as a guide for firms who may be new to UNC Charlotte and may not be familiar with our expectations regarding minority business participation on University Managed Projects (UMP) projects. Bidders should be familiar with the Guidelines for Recruitment & Selection of Minority Businesses for Participation in State Construction Contracts as well as the applicable bid forms.

The aspirational minority participation goal for this project is twenty percent (20%) or higher.

Bidders should attempt to include and contact at least one (1) minority firm within each scope of work they will be soliciting quotes for

Identification of HUB Certified/Minority Business Participation form — Only list minority firms that you will use as construction subcontractors, vendors, suppliers or professional service providers on this project. The bidder cannot list himself on this form as he cannot subcontract to himself. Note: This form must be submitted with your bid. As a minimum, the Company name must be listed at the top of the form and § Zero is listed in the field at the bottom of the page. Bidder's do not have to list the name of the minority firms they plan on using on this form.

Affidavit A - Listing of Good Faith Efforts - the bidder is certifying that he has made a good faith effort to comply under those areas checked on the form. Do not check a Good Faith Effort item unless you can provide the following;

1. Contacting minority businesses that reasonably could have been expected to submit a quote and that were known to the contractor or available on State or local government-maintained lists at least 10 days before the bid or proposal date and notifying them of the nature and scope of the work to be performed. Example: Copies of written (emailed or faxed) notification to minority businesses and copies of quotes/proposals received for work solicited to minority businesses. Notification should include, at a minimum, project location, location where plans and specifications may be obtained or viewed, list of the scopes of work for which subcontracts are being solicited, contact person within the prime contractor's organization.

Be sure to maintain a telephone log to confirm that minority firms received your Invitation for Bid (IFB)/Request For Quotes (RFQ). The log should contain the date contacted, telephone number, and name of the individual representing the minority firm who acknowledged receipt of your IFB/RFQ. Also maintain a telephone log to confirm that minority firms acknowledged a "bid/no bid" to your IFB/RFQ. The log should contain the date contacted, telephone number, and name of the individual representing the minority firm who acknowledged "bid/no bid" to your IFB/RFQ.

- 2. Making the construction plans, specifications and requirements available for review by prospective minority businesses, or providing these documents to them at least 10 days before the bid or proposals are due.
  - Copies of written (emailed or faxed) notification to minority businesses should include, at a minimum, project location, location where plans and specifications may be obtained or viewed, list of the scopes of work for which subcontracts are being solicited, contact person within the prime contractor's organization.
- 3. Breaking down or combining elements of work into economically feasible units to facilitate minority participation.
  - Document steps taken to segment elements of work into economically feasible units to meet minority business availability. Identify sub-contractors/suppliers/consultants and scopes of work involved in segmenting.

Be sure that you are soliciting quotes from at least three (3) minority firms in scopes of work that typically have adequate numbers of minority firms available that can perform the work required (hauling, concrete, flooring, masonry, painting, electrical suppliers, etc.). Do not solicit quotes from minority firms in those scopes of work that typically do not have minority firms available that can perform the work required (elevators, fire suppression systems, roofing, etc.). If there are minority firms that you typically use on your projects then by all means, feel free to use them, if you are sure you are receiving reasonable pricing and quality work.

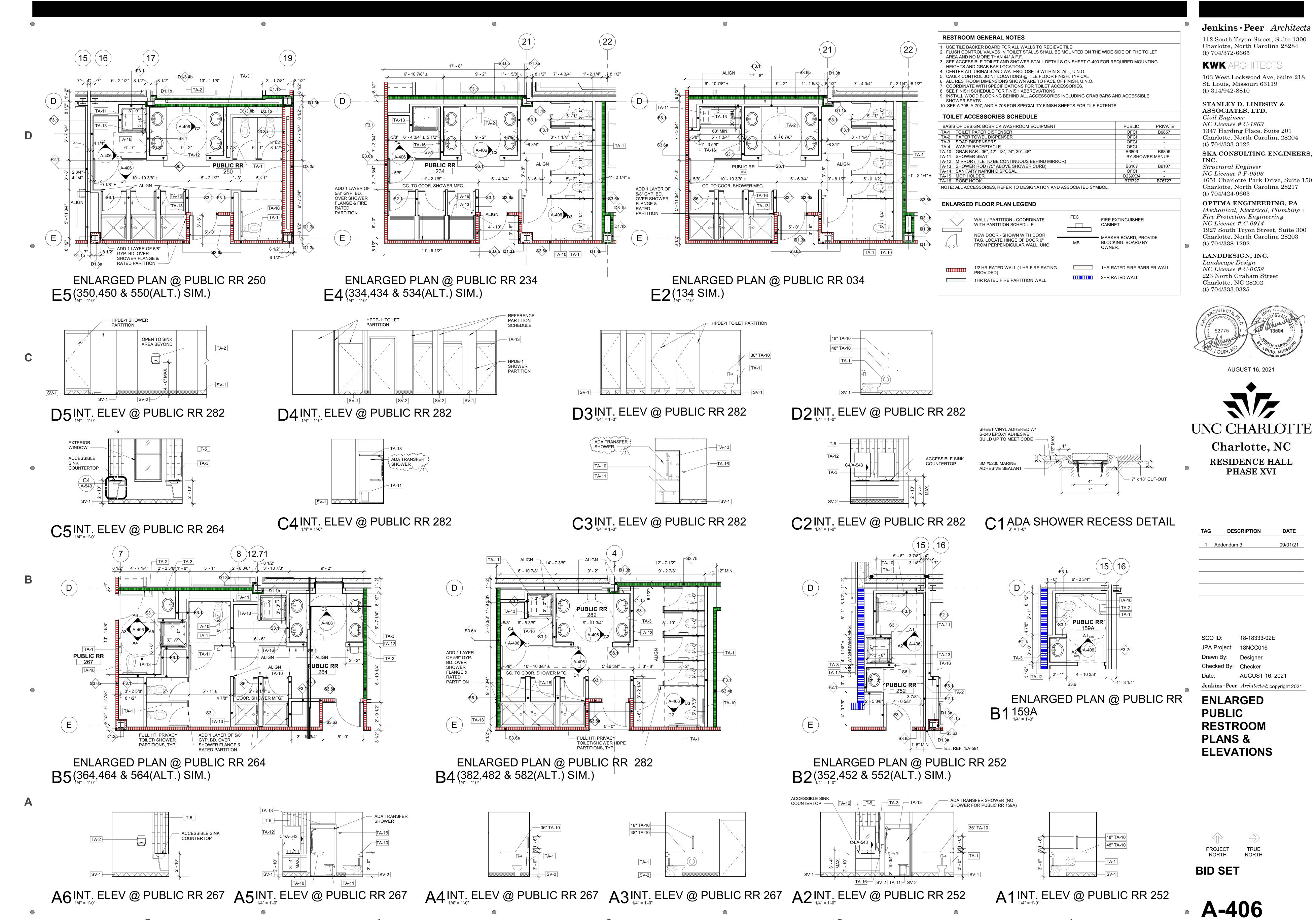
- 4. Working with minority trade, community or contractor organization identified by the Office for Historically Underutilized Businesses (HUB) and included in the bid documents that provide assistance in the recruitment of minority businesses. Note 1: Posting of your bid to Minority plan rooms does not satisfy this requirement. Note 2: Working with the UNC Charlotte HUB Coordinator does not satisfy this requirement.
  - Be able to provide a copy of meeting minutes and/or emails between the prime contractor and minority trade, community or contractor organization. At minimum the following topics should be discussed/reviewed during the meeting: project location; location where plans and specifications may be obtained or viewed; scopes of work for which subcontracts are being solicited; bonding requirements; insurance requirements; prime contractor's contact person; minority trade, community or contractor organization contact person; strategies to segment elements of the work into economically feasible units to meet minority business availability; strategies to increase minority business tilization through joint ventures and/or partnerships.

# Owner Preferred Alternates

- Provide the following door hardware in lieu of approved equals:
  - Sargent exit devices.
- Provide fire alarm system by Simplex in lieu of other approved equals per specification section 28 31 11 and sheet E-001.
- Provide telecommunications system using only those materials listed in Specifications division 27 in lieu of all other specified manufacturers. See also sheet E-001.
- Provide English Edge Pavers by Pine Hall in lieu of all other paver manufacturers specified in Section 32 14 00.
- Provide Open Options for access control per specification section 281300 and sheet E-001.
- Provide controls by JCI-FX BACNET
- Provide controls by Schneider Electric







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